
HINDS BROOK

Planning Justification Report
September 2024

496857 GREY ROAD 2. THE BLUE MOUNTAINS
PLANNING JUSTIFICATION REPORT
TRAVIS & ASSOCIATES
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EXECUTIVE SUMMARY

Travis & Associates was retained by the Proponent, Homefield Communities (Homefield), in 2023 to provide land use planning services concerning development of lands situated at 496857 Grey Road 2. The subject lands are 37.37 ha in area, however only 9.8 ha (26%) is developable due to Environmental Constraints. The proposed development intends to preserve 1.4ha of the developable area, therefore only 8.4ha (22%) is contemplated for development. Homefield is not the Owner of the subject lands, however they have a land purchase contract. Further, the Owner is aware of the land use planning discussions and reviews with the municipality and other agencies and has authorized the applications for submission by Homefield.

The Official Plan for the County of Grey designates the subject lands as Primary Settlement Area, Hazard Lands and Special Agricultural, while the Town of The Blue Mountains Official Plan designate the lands as Rural, Hazard Lands and Special Agricultural. An Amendment to the local Official Plan is required to permit the proposal. The existing zoning on the subject lands is Rural (R), Hazard (H) and (EP) Environmental Protection Zone.

In addition to a local Official Plan Amendment, approval will be sought for a Draft Plan of Subdivision, a Common Elements Plan of Condominium and a related implementing Zoning By-law to enable development of a residential subdivision. The proposed subdivision would yield 376 dwelling units, comprising 220 street-oriented rowhouses and 156 back-to-back rowhouse units. The net development area is calculated at approximately 9.8ha and results in a development density of 38.4 units per ha. The Draft Plan includes provisions for a 1.24 ha neighbourhood private park and parkettes, a stormwater management facility.

The proposed subdivision layout achieves a density that conforms to land use planning policy while accounting for existing adjacent residential uses. This is achieved through an efficient internal road pattern that services four variations of row house residential dwelling types.

Access to the site is via Grey Road 2 through a divided entrance. The subdivision will be on full municipal services. Road to be engineered and constructed to an urban standard that includes full municipal services, streetlights and sidewalks.

In addition to accounting for County and Municipal Official Plan policy, the subject proposal is also considered under provisions of the Provincial Policy Statement (2020) and the new Provincial Policy Statement (2024).

Supporting environmental, engineering, landscape and archaeological studies and reports demonstrate that the subject lands are suitable for residential development at a density, layout and form resulting from the proposed Draft Plan and implementing Zoning By-law.

1. PURPOSE

The purpose of this Planning Justification Report (PJR) is to present and assess a development proposal for 496857 Grey Road 2, Town of The Blue Mountains. In particular, this report will:

1. Describe the existing land use context
2. Explain the planning approvals proposed
3. Identify applicable land use planning policy considerations
4. Review supporting technical documents
5. Provide a planning analysis
6. Summarize findings

2. SITE DESCRIPTION

The subject lands are situated in the Town of The Blue Mountains on the east side of Grey Road 2 about 725 metres south of Highway 26. The lands comprise 37.37 hectares, however only 26% (9.8 hectares) of the land is developable due to environmental constraints. The Indian Brook briefly enters the property along the north property limit and the Georgian Trail abuts the property to the east. The Lake Nipissing Shorecliff is location along the southern boundary of the property; however the property is primarily flat, gently sloping in nature to the north east. Except for a utility shed, the property is currently vacant of any building or structures.

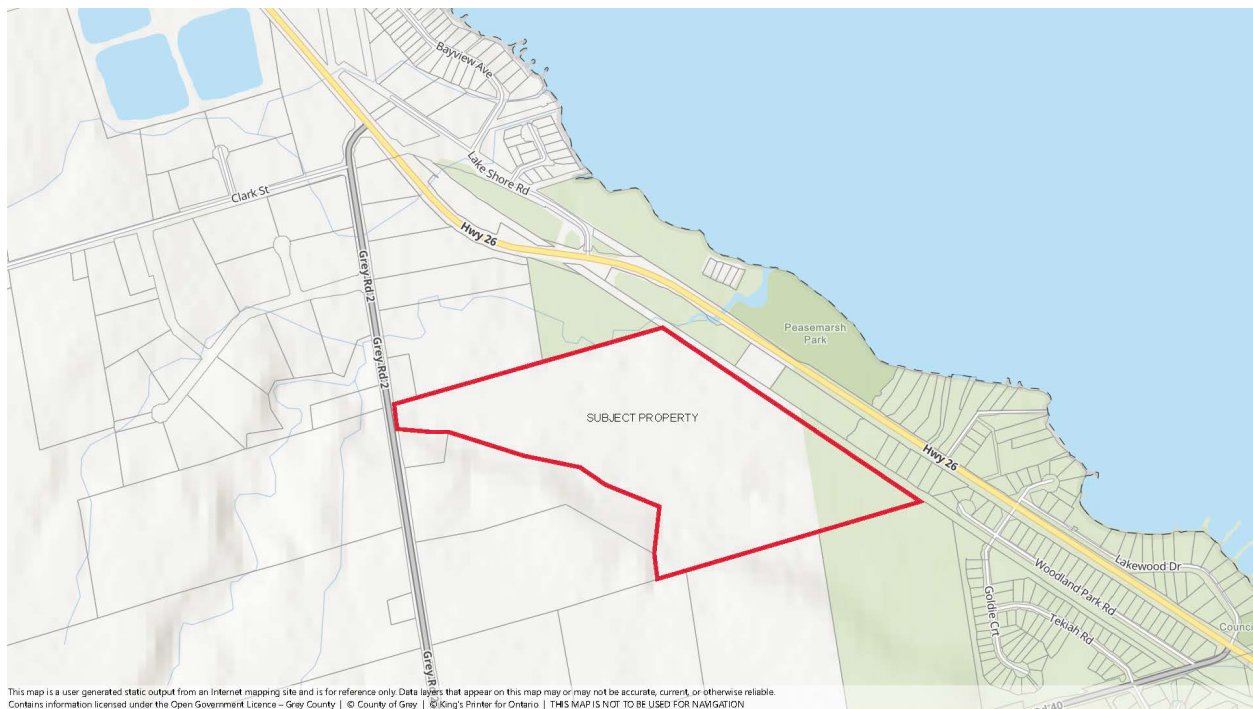


Figure 1: Location

3. SURROUNDING LAND USES

The subject lands are mostly isolated from any development, save and except for Sun Retreats Trailer Park and a single detached dwelling which are located immediately north of the proposed development. Some other existing

single detached dwellings are located to the south on top of the ridge and to the west of the subject property. Lands further to the south primarily comprise agricultural uses.

The Peasemash Conservation Area is located to the north and east of the property. Lands zoned for future employment lands development and the current Town of The Blue Mountains Firehall are located to the north-west of the property, while some existing employment uses are located north of the trailer park.

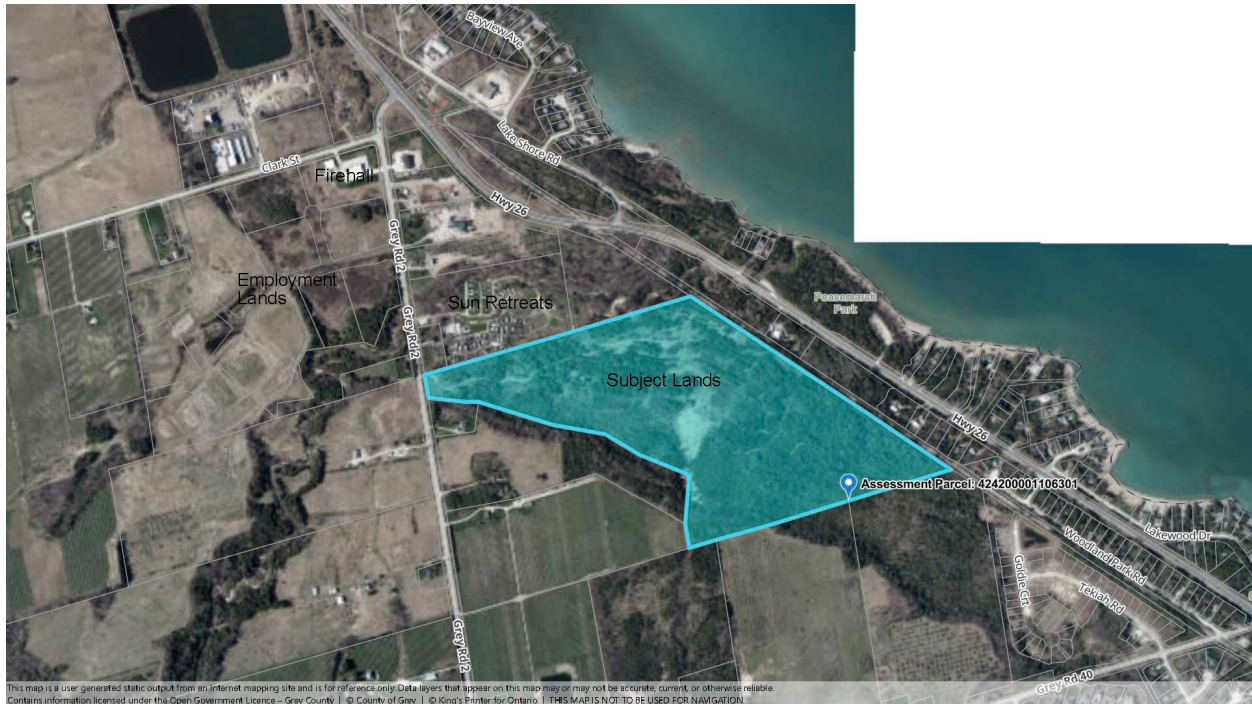


Figure 2: Area Context

4. PROPOSAL

4.1 OVERVIEW

Homefield Communities (“Homefield”) is proposing to develop 376 residential units consisting of 220 standard rowhouse units and 156 back-to-back rowhouse units for a net density of approximately 38.4 units per hectare. Figure 3 is the Development Concept and is also attached Appendix 4. Some key highlights of the updated proposal include:

- a neighbourhood park central to the site and retained Natural Heritage areas, a linear park and a stormwater management pond are proposed as buffers from the Georgian Trail.
- In addition to providing the required parking on individual lots, there are 55 visitor parking spaces.
- Areas have been strategically located for snow storage.
- A divided access to meet Fire Department requirements has been provided.
- Three small parkettes have been included, one of which provides a linkage to the Recreational Trail along the Indian Brook and a Linear Park which provides a link to the Georgian Trail.

4.3 Zoning By-law Amendment

The portion of the lands to be utilized for development would require a rezoning from the Rural zone to the Residential R2 zone.

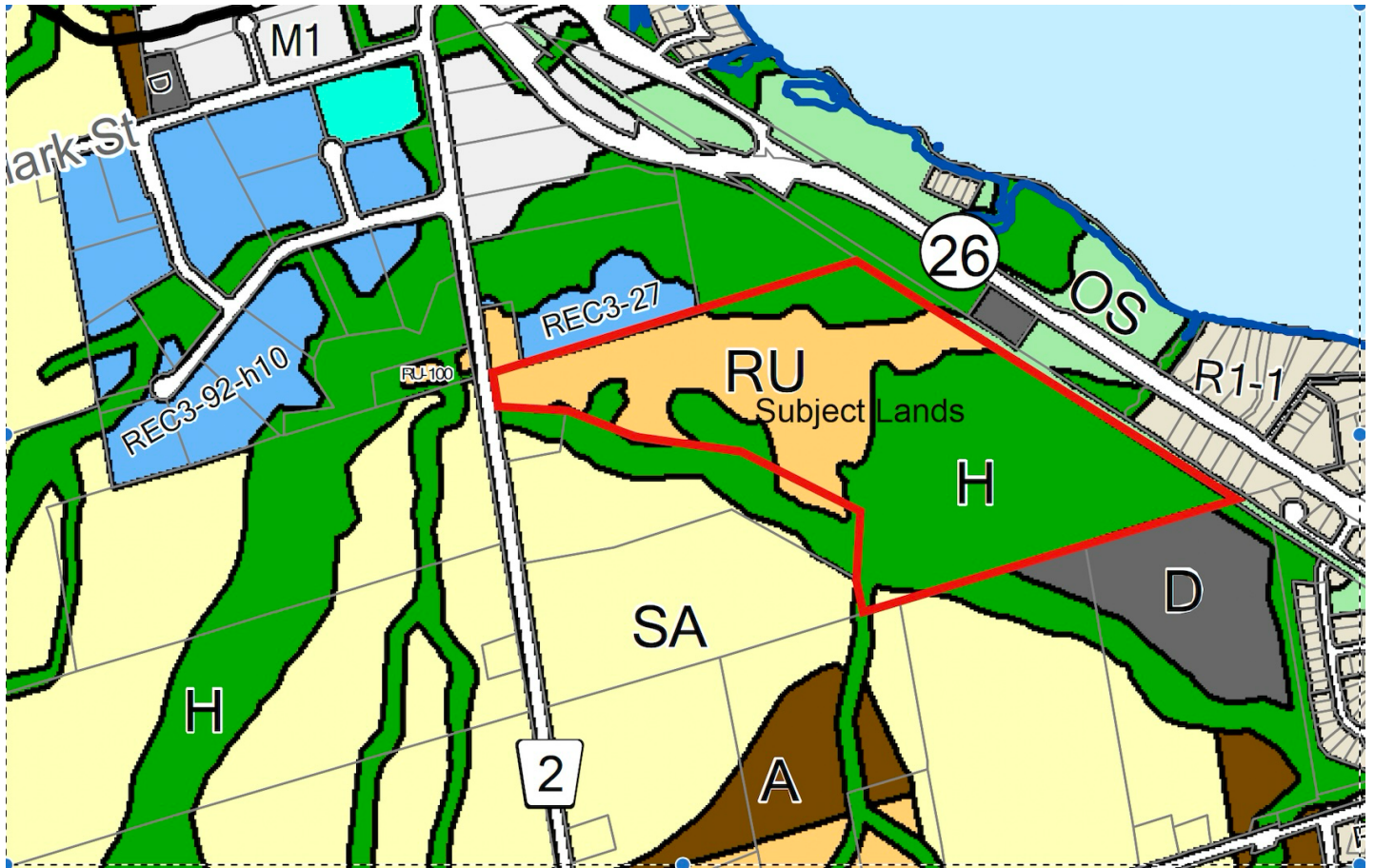


Figure 4 – Zoning Extract

The units proposed in this development would be considered Dwelling, Rowhouse as defined in the Zoning By-law. Further, based on Appendix 2, exceptions to the R2 zone will be required as noted in the following chart:

Standard	R2 provision	Standard Rowhouse			Back-to-back Rowhouse
		Type 1 / 1A	Type 2	Type 4	Type 3
Minimum lot area (sq. m.)	190 sq. M.	140 / 128	140	94	80.
Minimum lot frontage	6 m.	6.1 m	7.4 m	4.95 m	6.7 m
Minimum front yard	6 m	5.5 to garage 6.25 to dwelling	5.5 to garage 4.75 to dwelling	5.5	5.5 to garage 4.75 to dwelling
Minimum side yard	1.2 m*	1.2 m for end unit 0m for interior unit	1.2 m for end unit. 0m for interior unit	1.2 m for end unit. 0m for interior unit	1.2 m for end unit 0m for interior unit

Minimum exterior side yard	4 m	4 m	4m	4 m	3.5 m
Minimum rear yard	7.5 m	8 m / 6m	6 m	3.5 m	0 m
Maximum height	3 stories	3 stories	3 stories	3 stories	3 stories
Balcony and Step encroachment	1.5 into required yard.	Balcony 2 m into rear and Steps 1.75 m into front.	Balcony 2 metre into rear.	1 metre	Balcony 2 metres into front.

*-The parent By-law does not include a “Note 4” beside the 1.2 metre side yard noting that it is only for end units. The Amendment for this development will need to include this reference if not completed by Town first.

The reduction in the exterior side yard is due to curvature of the road on the corner encroaching into the side yard for the back to back units. For the most part, the exterior side yard complies with the 4 metre setback.

Based on the format of development, 2 parking spaces are required for each unit. Further the Zoning By-law states that residential lot parking is only permitted within a private garage, carport, or on a driveway. In that each unit has two parking spaces (one in garage and one in driveway) the By-law provision is met. Further, it is proposed that an additional 55 parking spaces be provided for visitors.

Size of Parking Spaces General Parking spaces shall be a minimum of 2.75 metres wide and 5.5 metres long. The minimum proposed on the lots is 2.75 metres x 5.5 metres which complies with the standard.

It is suggested that provisions be put in place that do not allow Short-Term Rentals and also a maximum Gross Floor Area be established for units as contained in the Draft Zoning Amendment attached as Appendix 5. Both would assist in the retention of this development as an attainable development.

4.4 Draft Plan of Subdivision

It is proposed that an application be filed for a Draft Plan of Subdivision that would apply to the entire property and include the following lots or blocks:

- Private roads/services, stormwater management facility and park or amenity area areas identified as blocks to form part of a Common Elements Plan of Condominium (CEC).
- Two Blocks are identified as Natural Heritage areas.
- 376 lots which will become the Pieces of Tied Land (POTL's) to the CEC.
- Conditions of Draft Plan Approval would address CEC and a Master Development /Subdivision Agreement with the Town amongst other matters.
- The Draft Plan of Subdivision would be registered in phases to align with development phasing.

Attached as Appendix 6 is the Draft Plan of Subdivision

4.5 Common Elements Plan of Condominium to the County of Grey

The CEC application is proposed to implement the ownership of the various services and open space as noted in the Draft Plan of Subdivision application. It is the intent to amend the CEC declaration to add lands to the CEC as the phasing proceeds or multiple CEC be created with reciprocal agreements. The CEC is attached as Appendix 7

5. BACKGROUND

5.1 Preconsultation

An initial preconsultation meeting was held with Town and County of Grey Planning Staff in response to Preconsultation application filed on August 10, 2023. The Town issued a memo on October 4, 2023 that included internal departmental comments, Ministry of Transportation, Niagara Escarpment, Huronne-Wendat Nation.

The Town requested a subsequent Preconsultation meeting which occurred on June 13, 2024. In addition to the Preconsultation meetings there have been a number of meetings with Town and County Staff with regard to specific matters.

It is noted that recent changes to the Planning Act no longer make Preconsultation mandatory, however the Proponent has made every effort to respect the comments made during the 2023-2014 preconsultation process.

Attached as Appendix 3 is a Matrix of the Preconsultation Comments received as part of the June 13, 2024 Preconsultation meeting.

6.0 PLANNING ACT

The Planning Act is the legislated basis for land use planning in Ontario. It provides for policy and regulatory direction and permissions for how land use is controlled. Section 1 provides for the legislated purposes of the Planning Act. In particular, Subsections 1.1 (a) and (b) note that among others, two purposes of the Act are to “promote sustainable economic development in a healthy natural environment” and, to “provide for a land use planning system led by provincial policy”.

Sections 2 and 3 of the Planning Act require that planning decisions shall have regard to “matters of provincial interest”, as well as “be consistent with” provincial policy statements and, “conform with” provincial plans. As demonstrated in this PJR, approval of the subject applications are aligned with these Provincial requirements.

By virtue of the approved status of the Official Plans of both the County and the Town combined with the scope and nature of the subject applications, matters of Provincial interest have been addressed. Section 2 matters are accounted for in the following summary:

- (a) Addressed through approved land use designations in the County and Local Official Plans. Also, as identified and addressed through submitted engineering reports.
- (b) Addressed by virtue of the approved land use designations.
- (c) Addressed through the approved land use designations and submitted reports and studies.
- (d) Addressed through the Archaeological Stage 1 and 2 report as submitted with the applications.
- (e) Addressed through utilization of existing municipal infrastructure.
- (f) Per (e) above.
- (g) Per (e) above.
- (h) Per (c) above. (h.1) to be addressed at building permit stage through compliance with the Ontario Building Code among others.
- (i) Per (c) above.
- (j) Provision of relatively small lots (in context of existing and approved developments in the immediate area) along with the proposed townhomes dwelling types.
- (k) Not applicable.
- (l) The proposed development is in accordance with approved Official Plan policies, is subject to imposed Development Charges and, will be subject to standard MPAC valuations and property tax requirements.

- (m) To be met through established, coordinated public review, comment processes under provisions of the Act and in accordance with municipal standards.
- (n) Per (m) above.
- (o) Per (c) and (m) above.
- (p) Per (a) above.
- (q) Addressed through subdivision design that is capable of supporting transit route connections and coordinated future public sidewalk connections to the broader community.
- (r) Addressed through subdivision design implementing broader Official Plan policy in addition to design and build standards per (a) above.
- (s) Per (q) above.

Section 51 (24) requires that consideration of a draft plan of subdivision shall have regard for several additional matters. These are considered as follows:

- (a) See above regarding Section 2 of the Act.
- (b) Addressed by approved Official Plan and municipal servicing schemes.
- (c) Addressed in the Planning Justification Report submitted with the application.
- (d) Addressed by the approved Official Plan land use designations along with the supporting engineering reports and studies. (d.1) – not applicable.
- (e) Addressed in the submitted engineering servicing and traffic reports.
- (f) Addressed in the subdivision design that accounts for accepted municipal zoning By-law performance regulations for residential lots. Subject lots are consistent with accepted standards and design/layout approaches. Note that (f 1) is not applicable.
- (g) Addressed in the proposed zoning By-law to implement the proposed draft plan of subdivision in conjunction with applicable provisions of Meaford Zoning By-law 60-2009.
- (h) Addressed through submitted engineering studies with appropriate lands set aside for drainage and storm water control measures.
- (i) Addressed in the engineering reports submitted that conclude subject lands can be serviced with existing infrastructure.
- (j) To be addressed through response from School Boards.
- (k) Appropriate lands and location accounted for in the draft plan of subdivision as a result of subdivision design in accordance with engineering report conclusions.
- (l) Addressed through subdivision design enabling transit connections along with pedestrian connections to adjacent existing and future developments.
- (m) Proposed dwelling types that are subject to Site Plan Control will be considered when detailed plans are submitted under provisions of the Planning Act.

The proposed Zoning By-law Amendment and Draft Plan of Subdivision that are the subject of this PJR are further governed by Sections 34 and 51 of the Planning Act.

Section 34 provides the basis for Zoning By-laws. Addressing Subsection 34(1), it is submitted that the proposed ZBA appropriately regulates and restricts the “use of land” as well as the “erection, locating or use of buildings”.

Likewise, Section 51 provides the basis for Subdivision of Land through Plan of Subdivision. It is submitted that the proposal and application meet the requirements set out by way of preconsultations, completion of required application forms, along with supporting plans, Reports and Studies.

Comment: The subject applications comply with the noted Planning Act provisions including addressing matters of Provincial Interest and regard for Subdivision considerations. It is further noted that this review also accounts for provisions of Bill 185 in determining compliance.

7.0 PLANNING POLICY CONSIDERATIONS AND ANALYSIS

The Lands are located in Town of The Blue Mountains, Ontario and are therefore subject to several layers of policy direction. This Section considers the subject applications in the context of these hierarchical policy instruments and provide some preliminary commentary within this Brief on some of the key Policies.

7.1 Provincial Policy Statement (PPS)

The 2020 Provincial Policy Statement (PPS) came into effect May 1, 2020 and replaced the previous 2014 PPS. It is a province wide policy directive on matters of provincial interest in land use planning. The Planning Act requires that “decisions affecting planning matters shall be consistent with” the PPS.

The following are key PPS policies applicable to the subject applications.

Section 1: Policies are geared to “Building Strong Healthy Communities”. Under Subsection 1.1.1 policies are directed at sustaining “Healthy, liveable and safe communities”. In this regard efficient development and land use patterns are to be promoted along with provision of a range and mix of residential housing with employment, institutional, recreational, parks and open space uses (1.1.1 a) and b)). In addition, development and land use patterns which may cause environmental or public health concerns are to be avoided (1.1.1 c)). Cost-effective development patterns are to be promoted in order to minimize land consumption and servicing costs are to be promoted (1.1.1 e)). This Section also directs that within settlement areas, sufficient land shall be made available to accommodate an appropriate range and mix of land uses for needs to a time horizon of up to 20 years through intensification and redevelopment (1.1.2).

Comment: The proposed development would result in an efficient residential development pattern within a specific area of the municipality identified for growth with the County Official Plan. It is submitted that the proposal is consistent with Section 1 PPS policy directions.

Section 1.1.3: Directs that Settlement areas shall be the focus of growth and development with their vitality and growth to be promoted. Furthermore, this policy states that land use patterns shall be based on density and mix of uses that, among other objectives, can efficiently use land and public services as well as support active transportation.

Comment: The proposed development is on lands within an existing settlement area that will be fully serviced. The subject proposal represents a land use pattern that is an efficient use of land and public services as it would result in development of vacant parcel of land. In this respect, the proposal is consistent with Section 1.1.3 PPS policy.

Section 1.2.6: This section states the Major facilities and sensitive land uses shall be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term operational and economic viability of major facilities in accordance with provincial guidelines, standards and procedures.

Comment: The proposed development is located approximately 300 metres south of lands currently used for employment uses and 250 metres from an existing residential parcel which is zoned for Employment uses. Other sensitive land uses already existing immediately adjacent to the employments lands which would already limit the use in accordance with the PPS and the Ministry of Environment D6 Guidelines. As a result this development will not adversely impact the development of the employment lands.

Section 1.4: In Section 1.4 the PPS requires planning authorities to provide for an appropriate range and mix of housing types and densities in a manner that, among other matters, efficiently uses land resources as well as public infrastructure.

Comment: The subject proposal would result in a unique housing form and tenure and, will enable development of a vacant parcel of land on full municipal services. The proposal is consistent with these PPS directions.

Section 2: This section provides policies addressing the wise use and management of the natural environment and resources. The lands comprise an infill parcel within an established built urban environment with no natural resources.

Comment: In this regard, the subject applications are consistent with the PPS.

Section 3: Section 3 provides natural hazards policies. As identified in the supporting studies, natural hazard limits have been identified and development is not proposed within these areas.

Comment: In this regard, proposed development of the subject lands can occur while being consistent with the PPS direction.

It is recognized that the Province has recently approved changes to the Provincial Policy Statement, which are to take effect on October 20, 2024. The Province has not released a regulation with regard to the Transition Provisions so it is unclear how it will impact an application filed before the effective date. A review of the 2024 PPS has occurred in relation to this proposal and the following policies are noted:

Section 2.1 - Planning for People and Homes which speaks to providing for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area.

Section 2.2 – Housing requires Planning Authorities to permit and facilitate “all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities”.

Section 2.3 – Settlement Areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.

Section 2.8 – Employment states that In addition to policy 3.5 (Land Use Compatibility), on lands within 300 metres of employment areas, development shall avoid, or where avoidance is not possible, minimize and mitigate potential impacts on the long-term economic viability of employment uses within existing or planned employment areas, in accordance with provincial guidelines.

Section 3.9 - Public Spaces, Recreation, Parks, Trails and Open Space note that Healthy, active and inclusive communities should be promoted by various elements.

Section 4.1 – Natural Heritage and Section 5.1 Natural Hazards policies remain relatively unchanged from the 2020 PPS.

Comment: The development proposed under these applications has been reviewed against the recently approved PPS and, similar to the 2020 PPS, they are consistent with the new policies which are to take effect on October 20, 2024. With regard to Section 2.8, refer to comments related to Policy 1.2.6 of the 2020 PPS.

7.2 Niagara Escarpment Plan

The south eastern portion of the property is located within the Escarpment Recreation Designation of the Niagara Escarpment Plan (NEP). The following figure shows the western limit of the Escarpment Recreation Designation in relation to the proposed development on the subject property.

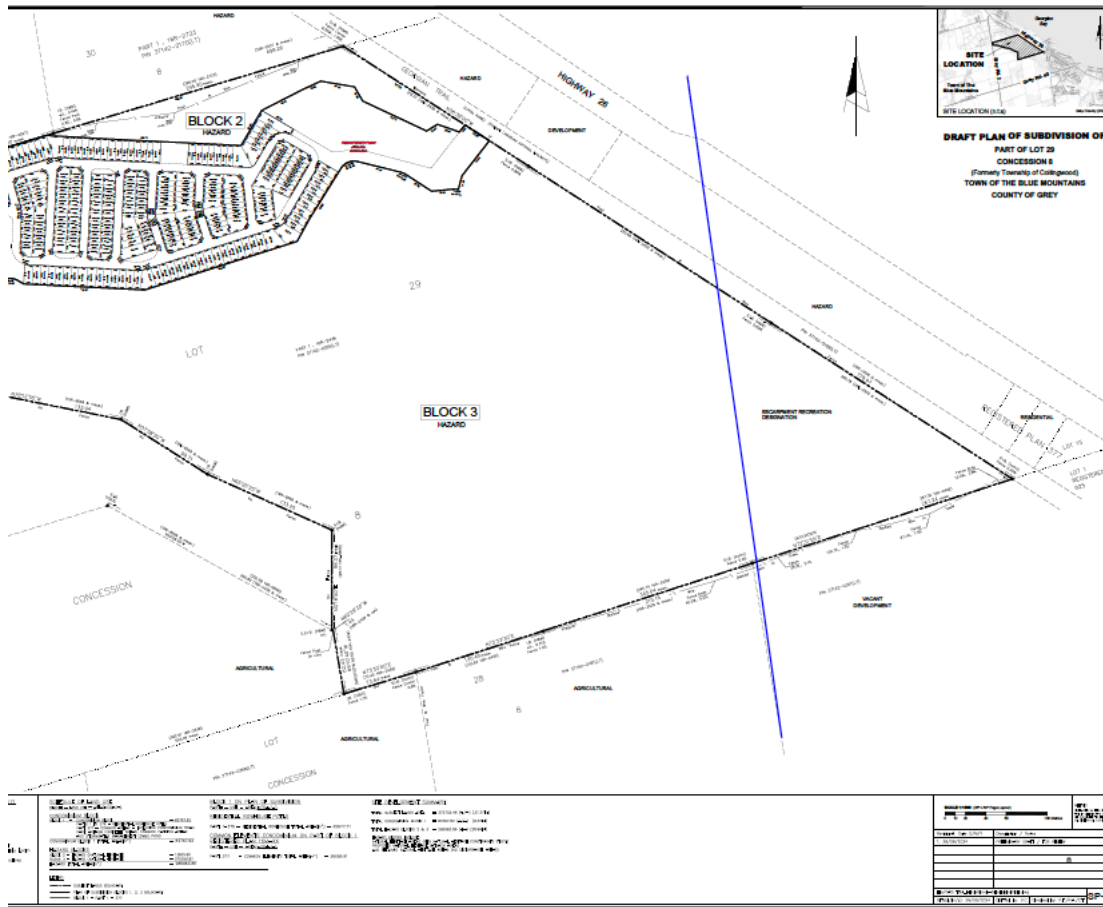


Figure 5. – NEP Boundary in relation to Development

There will be no development or impacts resulting from the development on the portion of lands with the Niagara Escarpment Plan based on the supporting Environmental and Engineering Reports.

7.3 Grey County Official Plan (Consolidated May 8, 2023)

The following reviews key policy directions applicable to the subject application. The Grey County Official Plan (County OP) provides land use policy direction affecting the subdivision of land that reinforces the direction of growth and the nature and function of Settlement Areas.

The subject lands are identified in Schedule A, Map 2 as lying within a “Primary Settlement Area” land use. Further, a large area is designated as Hazard Lands and a small area in the south is noted as Special Agricultural and the south-easter portion is designated Escarpment Recreation to align with the boundary of the Niagara Escarpment Plan. No development is proposed outside of the Primary Settlement Area designation. Primary Settlement Areas are a key component in the structure of Grey County and are intended to be the focused location of growth in the County.

Through OPA 11, growth targets for member municipalities were updated. To 2046, The Blue Mountain’s population growth target is 16,300 (Table 1), representing an increase of 6,750 from 2021. The proposed development will assist the municipality in achieving this target.

Section 3.3 states that settlement areas are to be positioned as the focus of urban growth. Furthermore, development should be of “a compact urban form” to “promote the efficient use of land” and provision of services. The proposed subdivision conforms to the intent of this policy direction in that it proposes an overall medium density development of a larger vacant parcel of serviced land within the settlement area.

The County OP further promotes the principle of “efficient” development and “compact” urban form by requiring that new development in Primary Settlement Areas achieve a minimum density of 20 units per net hectare (3.5(5)). The proposed development will achieve a density of 38.4 units per ha.

Section 3.4 provides general policies for development within settlement areas. The subject proposal addresses these policies as follows:

1. The subject proposal represents a form of intensification on a large vacant parcel of land in a settlement area and on full municipal services.
2. The local Official Plan was updated in 2016.
3. Per 2), above and per the proposal description in Section 3 of this PJR.
4. Per 2), above.
5. Not Applicable.
6. Subject lands are between the existing built-up area of Thornbury Clarksburg to the west and Camperdown to the east and are proposed to be developed with a mix of unit types reflecting a medium density residential development.
7. Per 2), above.
8. Not applicable.
9. Servicing to be extended to site development to occur in phases as capacity is available.
10. Addressed through the Stage 1 and 2 archeological report.
11. Not applicable.
12. Not applicable.
13. Not applicable.
14. Met through proposing four residential unit types of townhome dwellings.
15. Density and compatibility is achieved through proposed unit types and subdivision design.
16. Met through subdivision design and engineering.
17. Not applicable.
18. Not applicable.
19. Per 2), above.
20. Per 2), above.
21. Not applicable as this is a comprehensively design plan of subdivision.

Section 4, “Live Grey”, addresses for the most part, housing policies. The County recognizes that a key factor in housing price, and hence affordability, is supply. Therefore, a main policy directive is for municipalities to maintain appropriate lands with servicing capacity to facilitate residential intensification and redevelopment along with land in draft approved status.

Section 7 focuses on the environment. Appendix Map B shows that there is significant environmental constraint on the subject lands, which have been protected in the concept. The Environmental Impact Study submitted with the application supports the design by protecting and enhancing these areas. Hazard lands will be defined and set as a separate block in the plan of subdivision and will be zoned as such. There is no development within identified hazard lands.

Section 7.13 provides commentary on “climate change”. There are many ancillary actions brought about by more concrete policies and directions in the Official Plan that assist in wrestling with this subject matter. There are policies that encourage compact urban form and minimum density targets in efforts to promote efficient services and transportation modes and services. The location and concept layout help address these matters.

Section 8 provides policies relating to Transportation. Section 8.1 states that a key objective of the Official Plan is to “maintain and improve the County’s complete transportation system ...”. The subject application assists in this objective along in meeting the several subsequent policies through provision of urban standard street designs allowing for sidewalks and to standards that can support a linkage to a transit stop on Grey Road 2 in the future.

Section 9.13 is part of the implementation section of the Official Plan and deals with Plans of Subdivision. For any new application the proponent is required to consider and justify several matters. How these matters are addressed is summarized as follows.

- 1) The subdivision layout has regard to access and connections to (potential) public transportation as a result of provision of condominium streets designed to the Town’s urban standards. These will include sidewalks. The internal street pattern provides for a road, eliminating dead end or cul de sac approaches.
 - a) Provides for access to a county road and potential transit routes.
 - b) Lots do not front onto the County road.
 - c) Minimum subdivision standards will require sidewalks within the subdivision.
 - d) Sidewalk design details will incorporate accessibility standards (AODA).
 - e) Internal condominium road layout providing for a mini grid layout with complete connectivity (ie. no dead ends).
 - f) Low impact stormwater management tools will be incorporated into the SWM infrastructure.
 - g) Impact on the environment will be addressed through the EIS along with engineering solutions to drainage.
 - h) Dark sky compliance is possible through selection of preferred street lighting features to be reviewed and approved by the municipality.
 - i) The layout provides for a functional neighbourhood park as well as four parkettes / linear park.
 - j) Not applicable.
 - k) Addressed through design of the internal street to meet municipal requirements.
 - l) D-series requirements have been addressed through engineering submissions.
 - m) Accessible age friendly design detail will account for sidewalk access to the neighbourhood park and linkage to the Georgian Trail.
 - n) Addressed through provision of an integrated and accessible neighbourhood park, sidewalks designed with the private road, the configuration of the park is such that it has road frontage and therefore “eyes” on the land to assist in safety and monitoring from a public road space.
- 2) The dwelling types include four forms or Rowhouses.
- 3) This range is considered appropriate given the nature of the existing neighbourhood and the need to achieve minimum housing densities. The location of this development does not warrant housing mix to specifically address homes for the aged or assisted living.
- 4) The plan is focused on providing rowhouse units with floor areas less than 150 square metres for all units and 120 metres for the units to meet the attainable housing accommodation cost threshold. With a land lease model, it will be more attractive to modest income levels.
- 5) Addressed in this Report.
- 6) Information requirements identified through the preconsultation process to date are provided.

Comment: Key applicable directions of the County Official Plan include focusing growth Primary Settlement Areas on full municipal services, provision of a range of housing types, identification and protection of environmentally sensitive lands and provision of adequate transportation facilities. The subject proposal conforms to the intent of the County Official Plan on the basis of location, land use type and, consistency with existing approved Official Plans.

7.4 Town of the Blue Mountains Official Plan (2016)

The majority of the lands, including all of the development area, are identified as being within the Thornbury Clarksburg Settlement Areas on Schedule A-2 and primarily designated “Rural and Hazard Lands” while a small portion on top of the Lake Nipissing Shorecliff is designated as Special Agricultural. The south-eastern portion of the property falls within Schedule “A-3” and is entirely designated as Hazard.

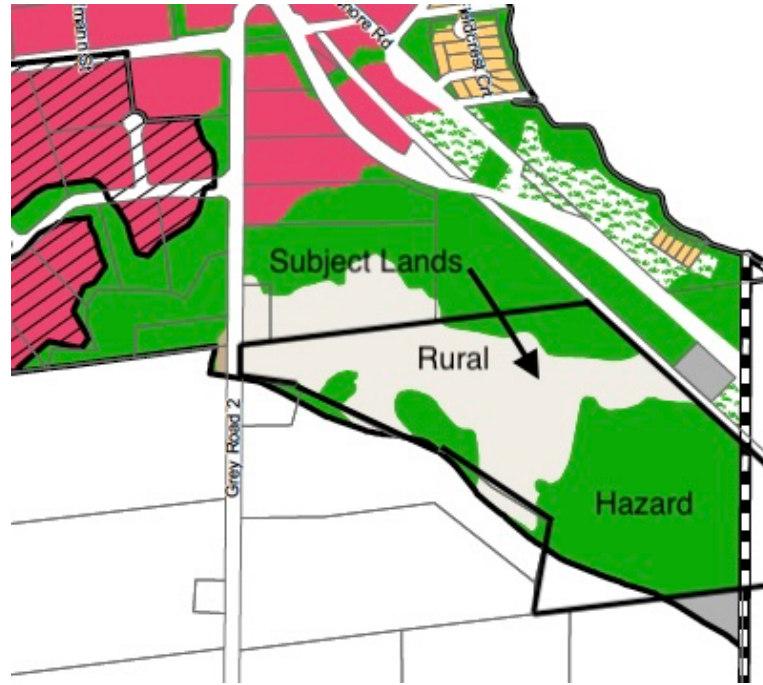


Figure 6 Town of The Blue Mountains Official Plan OP Extract

Section E.7 of the Official Plans contains the applicable policies when considering Amendments to the Official Plan. In particular, it notes the following:

- a) It is the intent of this Plan to serve as the basis for managing change in the Town. As a result, this Plan identifies enough land for residential, commercial and industrial uses to last until the year 2026.
- b) It is the intent of this Plan that this Plan should only be amended when the policies of this Plan have been found not to address issues or alternatively, issues have been raised with respect to site-specific proposals that must be addressed in a comprehensive manner. However, where Amendments are contemplated by this Plan, they shall be considered by Council
- c) In addition to the relevant amendment policies of any land use designations, the following shall be considered for any Plan amendment:
 - i) the rationale or the basis for the change;
 - ii) the direction provided by the Provincial Policy Statement;
 - iii) the direction provided by the goals and objectives to this Plan;
 - iv) the desirability and appropriateness of changing the plan to accommodate the proposed use or action;
 - v) the impacts the proposed change will have on the character of the area;
 - vi) conformity with the direction provided by the upper tier plan; and,
 - vii) that sufficient documentation has been provided to support the proposed amendment including

information related to the physical growth of the Town, impacts on the economy, the environment, agriculture and social well being of the community.

- d) An application to amend this plan shall be supported by the prescribed information required by the Planning Act as well as such other information as Council may request in order to address other policy issues within this plan. The information may include:
- i) an Environmental Impact Study;
 - ii) studies or information dealing with noise, vibration or other impacts that may result from development;
 - iii) an agricultural impact statement in areas designated Agricultural and Specialty Agricultural indicating the potential effect any new uses may have upon the continuation of agricultural uses in the general area;
 - iv) studies or information to determine the potential impacts on the growth or fiscal position of the Town;
 - v) studies or information to indicate the impact of new or intensified traffic that may impact the existing and proposed road network; and,
 - vi) studies or information to assess the impact on water sanitary and storm systems
 - vii) a Planning Justification Report.

The following commentary is provided in support of the applications and in response to the provisions of Section E.7:

A – Community Vision, Strategic Objectives and Land Use Concept
A.2 – Community Structure

The subject property could be considered infilling of a area located within the south east corner of the Thornbury Clarksburg Settlement area adjacent to the Camperdown Settlement area to the east. Further, the Lake Nippissing Shorecliff located along the southern boundary of the property adequately separates the Agricultural land to the south from the development lands. Consideration of incorporating retail or commercial use on these lands is not appropriate in that any commercial use would be isolated and likely only utilized by residents of this development. The development of these lands for attainable housing could support the Employment Lands located to the north-west of the property should they proceed.

The lands were included as a Primary Settlement Area within the last County Official Plan and therefore it is reasonable to expect that they would be designated for some form of urban use in the next update to the Official Plan. In this regard, it is recommended that the most appropriate designation is Community Living Area given its relationship to environmental features, adjacent recreational park and other residential uses. The Camperdown settlement area to the west is primarily recognized as a recreational residential area, while this development is proposed as a more typical urban development with attainable housing as identified in the applicable reports.

A3.1 – Sustainability

The Environmental Impact Study (EIS) and the Community Design Report (CDR) will address the comments highlighted under Sustainability.

A3 Natural Environment

The EIS demonstrates areas that need to be protected, which include buffers from natural features

A3.3 Growth and Settlement

The Functional Servicing Report identifies how the lands can be reasonably developed with minor extensions to existing services. Further, servicing of the subject lands has the potential benefit other lands.

A3.4 Urban and Community Character

The CDR will address the criteria noted in A.3.4, acknowledging that this proposed development is somewhat removed from the core area of Thornbury and Clarksburg.

A3.7 Economic Development

Policies related to Economic Development and servicing are addressed in the Functional Servicing Report. Please refer to the Attainable Housing Report for commentary around attainable housing.

A3.10 Housing

Town Staff have noted that an analysis of the housing proposed would be required as part of the housing needs study to demonstrate how this proposal addresses needs within the community. The Housing Needs Report has been prepared to address this requirement.

With regard to other policies noted, the proposed development does represent an intensification of land beyond the traditional single detached dwellings that would have historically been proposed for these lands. With regard to mixed-use, it is our opinion that a mixed use form on these lands is not appropriate based on the isolated nature of the property. Further, they are in close proximity to the Town's Zoned Employment lands and, subject to these lands proceeding with the development, could provide reasonable cost housing in close proximity.

A3.12 Cultural Heritage

The Archeological work being undertaken along with the EIS work includes consultation with SON and Wendat.

B3.1 Community Living Area Designation

Considering the fact that this development is isolated and the only development really impacted would be a seasonal trailer park, the majority of these Intensification and Greenfield Policies are not applicable.

B2.13 Height

The proposed height of any building will not exceed the 11 metres under this plan. Further, the lands are approximately 2 to 3 metres below the grade of Grey Road 2 and, as per the preliminary grading plan, will be subject to limited cut and fill. 78% of the lands are to be protected based on Natural Heritage feature and provide a significant tree buffer from adjacent lands. As a result, there will be little to no visual impact of the proposed development from adjacent uses or from key transportation routes.

B3.13.5 Community or Neighbourhood Plan

The Community Living Designation appears to be the best fit for the subject lands given its location.

With regard to density, the development is within the density range for Townhouse development which is 20 – 40 units per hectare. As a result, the proposed density of approximately 38.4 units per hectare is appropriate for this form of development.

B4.1.5 Minimum Distance Separation Formulae

The closest barn on an agricultural property appears to be 700 metres from the property and this barn does not appear to be utilized for livestock. The majority of agricultural lands to the south appear to be used for Orchard production. As a result of the foregoing there does not appear to be MDS1 conflict with the proposed development on the subject lands.

B5 Environment and Open Space

Based on the Environmental Constraints impacting the property as per the EIS, 78% of the property will remain as protected open space, with an additional 5% being parks and naturalized stormwater management facilities.

C Water, Environmental and Hazard Policies

Refer to the EIS and Natural Hazard Assessment with regard to this section. This Concept Plan protects all features identified.

C13 Land Use Compatibility

The closest dwelling in the proposed development would be located approximately 320 metres from the nearest Employment Lands Use (Landmark Design) to the north and 250 metres from the residential dwelling to the south of Landmark Design which is zoned as Employment Lands. The former industrial Park to the north west has been rezoned for recreational use. Further the closest buildable area on this property would be 300 metres from the nearest dwelling on the subject lands. It is also noted that the Existing residential uses and a Recreational Trailer park are located between the subject lands and lands designated for Employment Use.

With regard to the D-6-3 Separation Distance Guidelines, the recommended setback is 20 metres for a Class 1 Industrial Use or 300 metres for a Class 2 or 3 Industrial use. As a result, there does not appear to be any compatibility issues with this proposal.

D General Development Policies

D.1 Servicing

Currently the lands are considered as Stage 5 with the Town of The Blue Mountains Staging Priority on the basis that the lands are not designated for development, nor do they have any Planning Approvals.

Section D1.4.1 states that “Any such amendment to re-designate additional lands shall demonstrate to the satisfaction of Council an enhancement to recreational/tourism facilities, and the provision of added public benefit. Applications to amend the Plan shall address the following:

- a) The establishment of new major recreational/tourism facilities, such as a golf course or community recreation centre.
- b) The dedication or acquisition of property for parks, Niagara Escarpment, the Nipissing Ridge,

natural or cultural heritage features areas of ecological significance, public walkways, open space and shoreline areas, regional stormwater management facilities and municipal service infrastructure, or other similar benefits.

- c) The extension of logical and orderly planned development in- keeping with the overall staging priorities established by Council.
- d) The support and participation in the ESR approval processes.
- e) The participation in a municipal servicing project to establish new or expanded municipal treatment plant facilities, extend trunk lines, or provide other similar works which will also benefit existing development areas and other designated lands
- f) The participation in public private partnerships and front end financing for the provision of recreational facilities or service infrastructure which may not otherwise be possible or feasible due to financial limitations of the Town.
- g) The advancement of desired community objectives and public benefits which otherwise may be postponed or not feasible.

Any re-designation shall only be considered where the public benefit is clearly identified under the amendment, and where there is no long-term detrimental impact on the staging priorities for existing development areas and other designated lands, including the availability of design capacity and staging category status. The required ESR approvals, front-end financing of service infrastructure, recreational facilities, land dedications and other relevant matters which comprise the public benefit shall be provided prior to or in conjunction with any development. Re-designation may also be subject to a staging program to regulate the timing and sequence of development, and the commitment of servicing capacity.

Regarding the development proposed by Homefield Communities the development does provide a number of public benefits that support advancing the property to Stage 3 under the Town's Staging Priorities as contained with the Official Plan. The following is an overview of the Public Benefits that will be achieved with the proposed development:

- Provision of Attainable Housing as outlined in the Housing Needs Report.
- Dedication of Natural Heritage Features to a public body for the long term protection of Significant features as identified in the EIS.
- Provisions of preferred service extensions to the site that will benefit the towns water and wastewater conveyance systems and accommodate future development if desired by the Town. Further details of this benefit are outlined in the Functional Servicing Report.

The Public Benefits outlined will be listed as requirements for development within the Official Plan Amendment.

D.2 Roads

Access to the site is proposed via a divided entrance from Grey Road 2. The purpose of the divided entrance is to address the requirement for two access points to the development based on the proposed number of units. The Fire Department has confirmed that this is acceptable subject to some design requirements. This will be further addressed in the Traffic Impact Study along with vehicular movements in the development.

D2.5 Active Transportation

Active Transportation will be promoted with the inclusion of sidewalks in the development, hiking paths through the natural areas and a direct linkage to the Georgian Trail which connects with downtown Thornbury for walking and cycling.

D3.4 Archeological Resources

The Archeological Report is submitted with the application to address this policy. D5 Community Design

This will be addressed in the CDR as per the Terms of Reference, including CPTED principles.

D6 Parkland Siting and Design

The concept includes a Neighbourhood Park centred in the development adjacent to the Natural Heritage area to the south . Two smaller parkettes are located on both side of the entrance to the site and one is located as a link to the Natural Heritage / Natural Hazard areas along the Indian Brook. A linear park is proposed connecting the development to the Georgian Trail. These areas, along with private yard/patio space and second floor balconies will provide outdoor amenity space. The CDR outlines how these areas will be developed with active and passive uses.

D8.2 Tree Canopy

As noted, 74% of the site will be maintained in a natural state which includes significant tree cover. The UDG will address the introduction of vegetation into the developable portion of the property. Additional tree canopy will also be provided internal to the site, as detailed in the Landscape Analysis.

7.4 Zoning

One of the rationales for the establishment of Zoning Standards is to maintain a character in a specific area from a massing perspective. The benefits of the Subject lands are that it is isolated and well buffered from adjacent lands and Grey Road 2 and therefore can create its own character and standards without adversely impacting the character of other areas. There are several exceptions proposed that are supported by the Community Design Guidelines which enable the development to achieve several criteria. This includes allowing a density and housing forms enabling the delivery of attainable housing as noted elsewhere in the report. On this basis, the requested exceptions are reasonable for this development.

8.0 SUPPORTING STUDIES AND ANALYSIS

8.1 – Functional Servicing Report

Tatham Engineering has provided Functional Servicing Report that outlines how the property can be serviced. Included in this report is details on how the proposed servicing will provide greater benefit beyond the development of the subject lands. Further it considers the capacity limitations of the Municipality. The Preliminary Grading Plan is also included in the Functional Servicing Report.

8.2 – Natural Hazard Assessment

A Natural Hazard Assessment has been completed on the Indian Brook by Tatham Engineering. The proposed Plan denotes the Erosion Hazard Limit from the study together with the 6 metre access allowance. This report was previously submitted during preconsultation and established the development constraints carried forward in this application.

8.3 – Environmental Impact Study

Birks Natural Heritage Consultants have provided the requisite Environmental Impact Study (EIS) to support the proposed development. This was based on a Terms of Reference approved by the County who represents both the Town and County on Natural Heritage matters.

Based on EIS, the Plan has been developed to include 15 metre setback from retained wetland vegetation communities and 30 metre setback from permanent water level. It being noted that the 30 metre setback extends beyond the flood limit noted in the Floodplain Analysis.

As noted in the report, it is recommended that a condition of Draft Plan Approval be a formal restoration and compensation plan. Further are operational recommendations that should be included under any development agreement.

8.4 Housing Needs Report

Based on a requirement of the Town, a Housing Needs Report has been provided with the assistance of Altus Group. As noted in the report, this development will provide 234 residential dwelling units that will meet the attainable housing accommodation cost threshold and contribute to the specific needs of the Town as highlighted in the recent Parcel report.

8.5 Community Design Report

A Community Design Report has been developed in accordance with the Town's Community Design Guidelines prepared in 2012. This report specifically touches upon the Greenfield Guidelines which are applicable to this development as well as the Streetscape Design Guidelines and Sustainability Design Guidelines. This report was developed in collaboration with Envision Tatham, Tatham Engineering and LOLA Architects.

8.6 Archeological Report

Stage 1 and 2 Archeological Assessments have been prepared by Archeological Research Associated Ltd (ARA). The assessments were limited to the development area and the Stage 2 assessment did not result in the identification of any archeological materials. It was recommended that no further assessment was required with the development area.

8.7 Traffic Impact Study

Tatham Engineering has prepared a Traffic Impact Study in accordance with the Terms of Reference accepted by the County of Grey and the Ministry of Transportation. The findings indicate that “No improvements are required to support the development from a traffic operations perspective”. Further sight lines in Grey Road 2 exceed TAC and County requirements.

8.8 Geotechnical Report

A Preliminary Geotechnical Report has been prepared by DS Consultants Ltd. It contains recommendations that need to be considered as part of the detailed design stage.

8.9 Hydrogeology Report

The Hydrogeological Assessment prepared by Tatham Engineering speaks to Temporary Construction and Dewatering, Water Budget and Low Impact Development Feasibility.

8.10 Stormwater Management Report

The Preliminary Stormwater Management Plan prepared by Tatham “ensures the development can be constructed in accordance with all applicable Municipal and Provincial guidelines while minimizing the impact of the development on the local drainage systems.” It also addressed elements of Low Impact Design.

8.11 Landscape Analysis

Envision Tatham has prepared a Landscape Analysis that proposes preservation, enhancement and mitigation measures to protect the Landscape character of the site.

8.12 Tree Preservation Plan

A Tree Inventory and Preservation Plan has been prepared by Birk’s Environmental in accordance with the Town’s Tree By-law and in consultation with the County of Grey. Components of the Plan will be implemented as part of the approval of the development.

9.0 SUMMARY

The subject lands are situated within the Primary Settlement Area designation in the County of Grey Official Plan and within the Thornbury Clarksburg Settlement area of the Town of The Blue Mountains Official Plan. Currently the lands are not designated for development within the Town’s Official Plan and an Amendment has been requested to redesignate a portion of the lands in the Community Living Area designation. This designation would provide an opportunity to develop an area for much needed attainable housing having little to no impact on the surrounding lands. Further it provides the ideal opportunity for growth as a form of infilling in the Thornbury Clarksburg Settlement area and next to the Camperdown recreational residential development area. This re-designation would conform to the Primary Settlement Area intent and purpose of the Grey County Official Plan.

The proposed Draft Plan of Subdivision would yield 376 rowhouse dwelling units in various forms resulting in a density of 38.4 upha, meeting the minimum density requirements stipulated in the Grey County Official Plan and with the density range for the form of development in the Town’s Official Plan. Further the roads, parks, stormwater management facility is proposed as a Common Elements Plan of Condominium (CEC) with the 376 lots (rowhouses) comprising the Pieces of Tied Land (POTL’s) to the CEC. Homefield Communities intends to maintain ownership of the lots and enter into long term leases with purchasers.

The 2020 and the 2024 Provincial Policy Statements have been reviewed and it is determined that the subject proposals are consistent with the applicable policies related to the development proposed. Further on the basis that there is no development contained within, nor will the development affect the area within the Niagara Escarpment Plan we are in compliance with the Part 2 - Development Criteria of the NEP

In reviewing applicable Official Plan policies, it has been demonstrated that the subject proposal conforms to the County of Grey Official Plan. Further, the proposal to redesignate the lands maintains the intent, Goals and Objectives of the Town of The Blue Mountains Official Plan while providing on the Town's priority to develop attainable housing.

The subject applications will result in Official Plan Policies, land use regulations (Zoning By-law) and subdivision design that creates a unique compact and sustainable community in keeping with the intent of the Official Plan. In this respect, ***the subject applications enable the Town of The Blue Mountains to implement the intent of the County Official Plan, and, the directions sought through the PPS. As a result, the Official Plan Amendment, Draft Plan of Subdivision and Common Elements Plan of Condominium and related Zoning By-law amendment are in the public interest and represent good planning.***

Prepared By:

Travis and Associates
Colin Travis, MCIP RPP
September 13, 2024

Appendix 1
DRAFT OFFICIAL PLAN AMENDMENT

DRAFT OFFICIAL PLAN AMENDMENT

AMENDMENT No. _____

TO THE OFFICIAL PLAN OF THE TOWN OF THE BLUE MOUNTAINS

PART 1-PREAMBLE

1.1 TITLE

This Amendment, when approved by the County of Grey, shall be known as Amendment No. _____ to the Official Plan of the Town of The Blue Mountains.

1.2 COMPONENTS

This amendment consists of the text and schedules.

1.3 PURPOSE OF THE AMENDMENT

The purpose of this Amendment to the Official Plan of the Town of The Blue Mountains is to modify Schedule "A" Land Use Plan, of the Official Plan of the Town of The Blue Mountains to redesignate a parcel of land to permit residential development on full municipal services.

1.4 LOCATION

The subject lands are located at 496857 Grey Road 2 and being further described as Part Lots 28, Concession 9, Part 1, Plan 16R-2439 Town of The Blue Mountains, County of Grey.

1.5 BASIS OF THE AMENDMENT

The subject lands are currently designated as Primary Settlement Area within the County of Grey Official Plan and identified as being within the Thornbury / Clarksburg Settlement within The Blue Mountains Official Plan. This Amendment redesignates the lands from Rural to Community Living Area to permit the development of 376 residential units on approximately 22% of the property. The proposed net density is 38.4 units per hectare which is consistent with the policies of the proposed Community Living Designation for a mix of Townhomes (Standard Rowhouses and Back to Back Rowhouses). The remaining lands (78%) will remain in open space for protection of the Natural Hazard and Natural Heritage features. The subject lands will be fully serviced, which will include a watermain loop that will extend down Grey Road 2, through the development and back to Highway 26 at the eastern portion of the property. The proposal maintains and promotes general Official Plan policies seeking housing forms catering to market segments (missing middle) that are seeking more attainable housing options.

In consideration of designating the subject lands for development and to address the provisions of Policy D1.4.1, the following public benefit will be provided through the development of the lands:

- Providing a minimum of 50% of the meet the attainable cost threshold as defined by the Town's Community Improvement Plan dated January 2021 and inclusion of maximum gross floor areas for these units in the implementing Zoning By-law.
- Dedication of Natural Heritage Features to a public body for the long term protection of Significant features as identified in the EIS.

- Provisions of preferred service extensions to the site that will benefit the towns water and wastewater conveyance systems and accommodate future development. Further details of this benefit are outlined in the Functional Servicing Report.

Details of the public benefit will be included in the implementing Development Agreement which will be a condition of Draft Approval of the Plan of Subdivision and the removal of the holding symbol.

PART 2 THE AMENDMENT

2.1 PREAMBLE

All of this part of the document entitled Part XX The Amendment, consisting of the following text, constitutes Amendment No. ____ to the Official Plan of the Town of The Blue Mountains.

2.2 DETAILS OF THE ACTUAL AMENDMENT

Schedule "A-2", Land Use Plan is hereby amended by re-designating a portion of the subject lands from "Rural" to "Community Living Area" and to make minor modifications to the "Hazard" designation.

Section B3.1.10) is hereby modified by adding the following:

B3.1.10.2 Schedule A-2 – Part Lot 28, Concession 9

In addition to the Policies of the Community Living Area Designation, these lands may be developed with a maximum density of 39 units per hectare resulting in a maximum number of 376 units.

Approval of this development is on the basis of providing of the following Public Benefits:

- i. Providing a minimum of 50% of the units meet the Attainable Housing accommodation criteria as defined by the Town's Community Improvement Plan dated January 2021
- ii. Dedication of Natural Heritage Features to a public body for the long term protection of Natural Heritage features as identified in the Environmental Impact Study.
- iii. Provisions of preferred service extensions to the site that will benefit the towns water and wastewater conveyance systems and accommodate future development.

Based on providing the Public Benefit to the satisfaction of the Municipality, the subject lands shall be considered within Stage 4 of the Servicing Priorities with the approval of this Amendment.

The development of the lands subject to an Amendment to the Zoning By-law and execution of a Development Agreement.

PART 3 IMPLEMENTATION

This Amendment No. ____ to the Official Plan of the Town of The Blue Mountains will be implemented by an amendment to Zoning By-Law 2018-65, as amended, of the Town of The Blue Mountains, as well as Draft Plan Approval from the County of Grey.

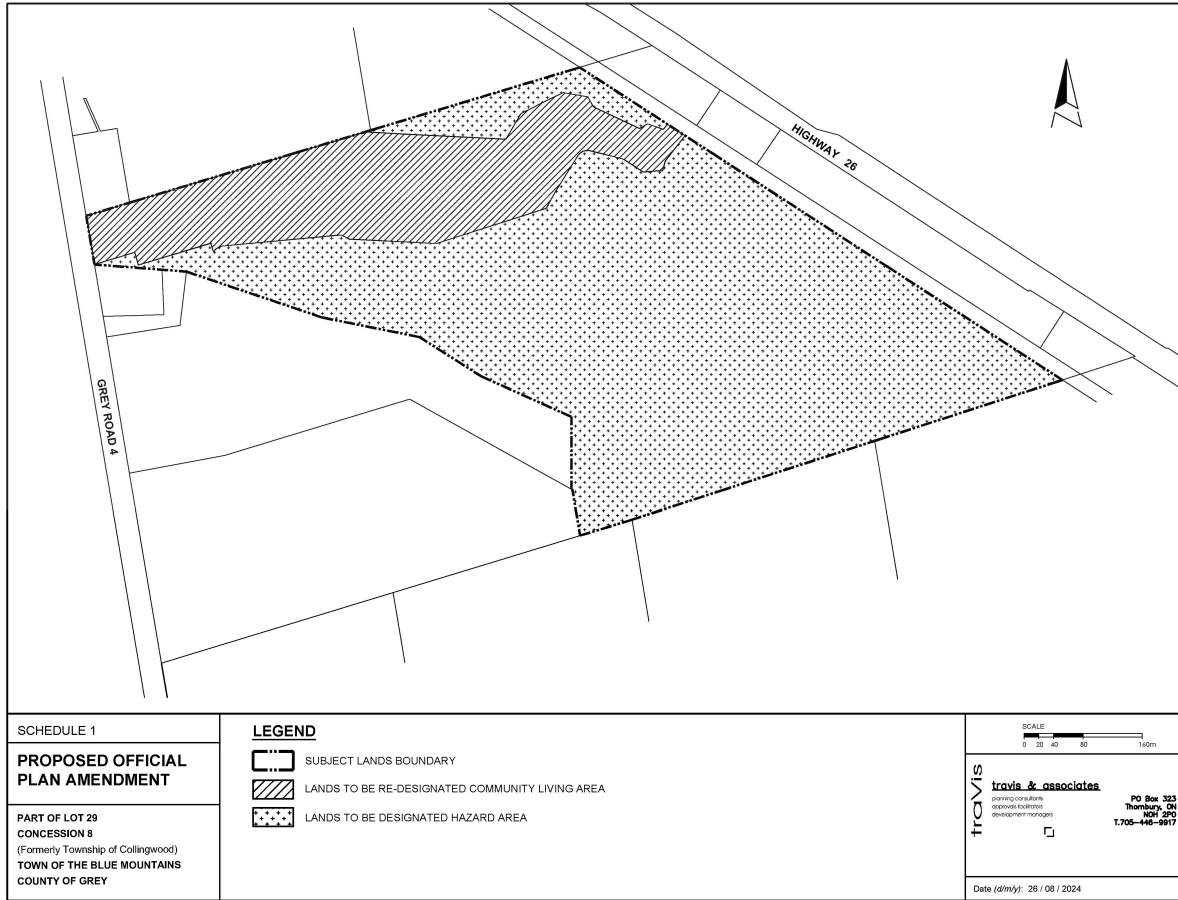
PART 4 INTERPRETATION

The provisions of the Official Plan of the Town of The Blue Mountains, as amended for time to time, regarding the interpretation of that Plan, shall apply regarding this Amendment.

Schedule "A"

To Official Plan Amendment No. ____

Town of The Blue Mountains



SCHEDULE 1
**PROPOSED OFFICIAL
PLAN AMENDMENT**

PART OF LOT 29
CONCESSION 8
(Formerly Township of Collingwood)
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY

LEGEND
[Dashed line] SUBJECT LANDS BOUNDARY
[Diagonal lines] LANDS TO BE RE-DESIGNATED COMMUNITY LIVING AREA
[Stippled pattern] LANDS TO BE DESIGNATED HAZARD AREA

SCALE
0 20 40 60 100m
travis & associates
planning consultants
development managers
travis
PO Box 323
Thornbury, ON
N0H 2P0
1.700-440-2917

Date (d/m/y): 26 / 08 / 2024

Appendix 2

Draft Zoning By-law Amendment

The Corporation of the Town of The Blue Mountains

By-Law Number 2024 –

Being a By-law to amend Zoning By-law No. 2018-65 which may be cited as "The Town of The Blue Mountains By-law"

Whereas the Council of The Corporation of the Town of The Blue Mountains deems it necessary in the public interest to pass a by-law to amend By-law No. 2018-65;

And Whereas pursuant to the provisions of Section 34 and 36 of the Planning Act, R.S.O. 1990, c. P.13, the By-law may be amended by Council of the Municipality;

Now Therefore Council of The Corporation of the Town of The Blue Mountains hereby enacts as follows:

- THAT** Map 10 to Schedule 'A' of the Town of The Blue Mountains Zoning By-law 2018-65 as amended, is hereby further amended by rezoning the subject lands from the Rural 'RU' zone and the Hazard 'H' Zone to the Residential 'R2' Exception XX1 holding (R2-XX1-h) Zone, Residential 'R2' Exception XX2 holding (R2-XX2-h) Zone, Residential 'R2' Exception XX3 holding (R2-XX3-h) Zone, Hazard 'H' Zone and Open Space 'OS' Zone for those lands lying and being in the Town of The Blue Mountains, comprised of Part Lot 29 Concession 8, being Part 1, Plan 16R-2439, as indicated on Key Map Schedule 'A-1'.
- THAT** Section 9.1 to the Zoning By-law of the Town of The Blue Mountains, being By-law 2018-65, as amended, is hereby amended by adding Exception XX1 and XX2 as follows:

"XX1 Map 10 – Part Lot 29, Concession 8 (Homefield Communities)

RESIDENTIAL 2 EXCEPTION XX1 R2-XX1-H

Uses shall be limited to Rowhouse dwelling units, Parking and Private Open Space uses only.

The number of dwelling units in the entire area affected by this exception shall not exceed 100.

Notwithstanding provisions of Table 6.2.2 and Section 4.13 the following provisions shall apply:

Standard	Standard Rowhouse
Minimum lot area	125 sq. m
Minimum front yard	5.5 m to private garage 6.25m to dwelling
Minimum side yard	0m for interior unit
Minimum rear yard	6 m from a Residential or Hazard Zone or 8 m from a Recreational or Rural Zone.
Maximum Gross Floor Area	160 sq. m.
Permitted Encroachment	In addition to existing permitted encroachments, a balcony shall be permitted to encroach 2 metres into a required rear yard and steps may encroach 2.5 metres into a required front yard.

"XX2 Map 10 – Part Lot 29, Concession 8 (Homefield Communities)

RESIDENTIAL 2 EXCEPTION XX2 R2-XX2-H

Uses shall be limited to Rowhouse dwelling units, Parking and Private Open Space uses only.

The number of dwelling units in the entire area shall not exceed 42.

Notwithstanding provisions of Table 6.2.2 and Section 4.13 the following provisions shall apply:

Standard	Standard Rowhouse
Minimum lot area	140 sq. m
Minimum front yard	5.5 m to private garage 4.75m to dwelling
Minimum side yard	0m for interior unit
Minimum rear yard	6 m
Maximum Gross Floor Area	160 sq. m.
Permitted Encroachment	In addition to existing permitted encroachments, a balcony shall be permitted to encroach 2 metres into a required rear yard

“XX3 Map 10 – Part Lot 29, Concession 8 (Homefield Communities)

RESIDENTIAL 2 EXCEPTION XX3 R2-XX3-H

Uses shall be limited to Back to Back Rowhouse dwelling units, Parking and Private Open Space uses only. For the purpose of this By-law, a Back to Back Rowhouse dwelling type means a building with four or more dwelling units divided vertically, including a common rear wall, each with an independent entrance and has a yard abutting at least one exterior wall of each unit.

The number of dwelling units in the entire area shall not exceed 156.

Notwithstanding provisions of Table 6.2.2 the following provisions shall apply:

Standard	Standard Rowhouse
Minimum lot area	80 sq. m
Minimum front yard	5.5m to private garage 4.75m to dwelling
Minimum side yard	0m for interior unit
Minimum Exterior Side yard	3.5 m
Minimum rear yard	0 m
Maximum Gross Floor Area	130 sq. m.

“XX4 Map 10 – Part Lot 29, Concession 8 (Homefield Communities)

RESIDENTIAL 2 EXCEPTION XX4 R2-XX4-H

Uses shall be limited to Rowhouse dwelling units, Parking and Private Open Space uses only.

The number of dwelling units in the entire area shall not exceed 78.

Notwithstanding provisions of Table 6.2.2 and Section 4.13 the following provisions shall apply:

Standard	Standard Rowhouse
Minimum lot area	90 sq. m
Minimum lot frontage	4.75
Minimum front yard	5.5 m
Minimum side yard	0m for interior unit
Minimum rear yard	3.5 m
Maximum Gross Floor Area	130 sq. m.
Permitted Encroachment	In addition to existing permitted encroachments, a balcony shall be permitted to encroach 2 metres into a required front yard

3. In accordance with the provisions of Section 36 of the Planning Act, R.S.O. 1990, c. P. 13, as amended, the Holding ‘-h’ symbol shall not be removed from the whole or part of the lands until such time as the following has been completed:

- i. Execution of a Subdivision Agreement;
- ii. Registration of a Plan of Subdivision;

Until such time as the Holding ‘-h’ symbol is removed, the lands shall only be used for those uses that existed as of the date of passing of this By-law.

4. Notwithstanding the requirements of Section 3 above, a maximum of 9 (9) model home(s) may be constructed prior to the removal of the Holding ‘-h’ Symbol provided that the owner enters into a Model Home Agreement to the satisfaction of the Town of The Blue Mountains.

5. That Schedule ‘A-1’ is declared to form part of this By-law.

And Further that this By-law shall come into force and take effect upon the enactment thereof.

Enacted and passed this ____ day of _____, 2024.

Andrea Matrosovs, Mayor

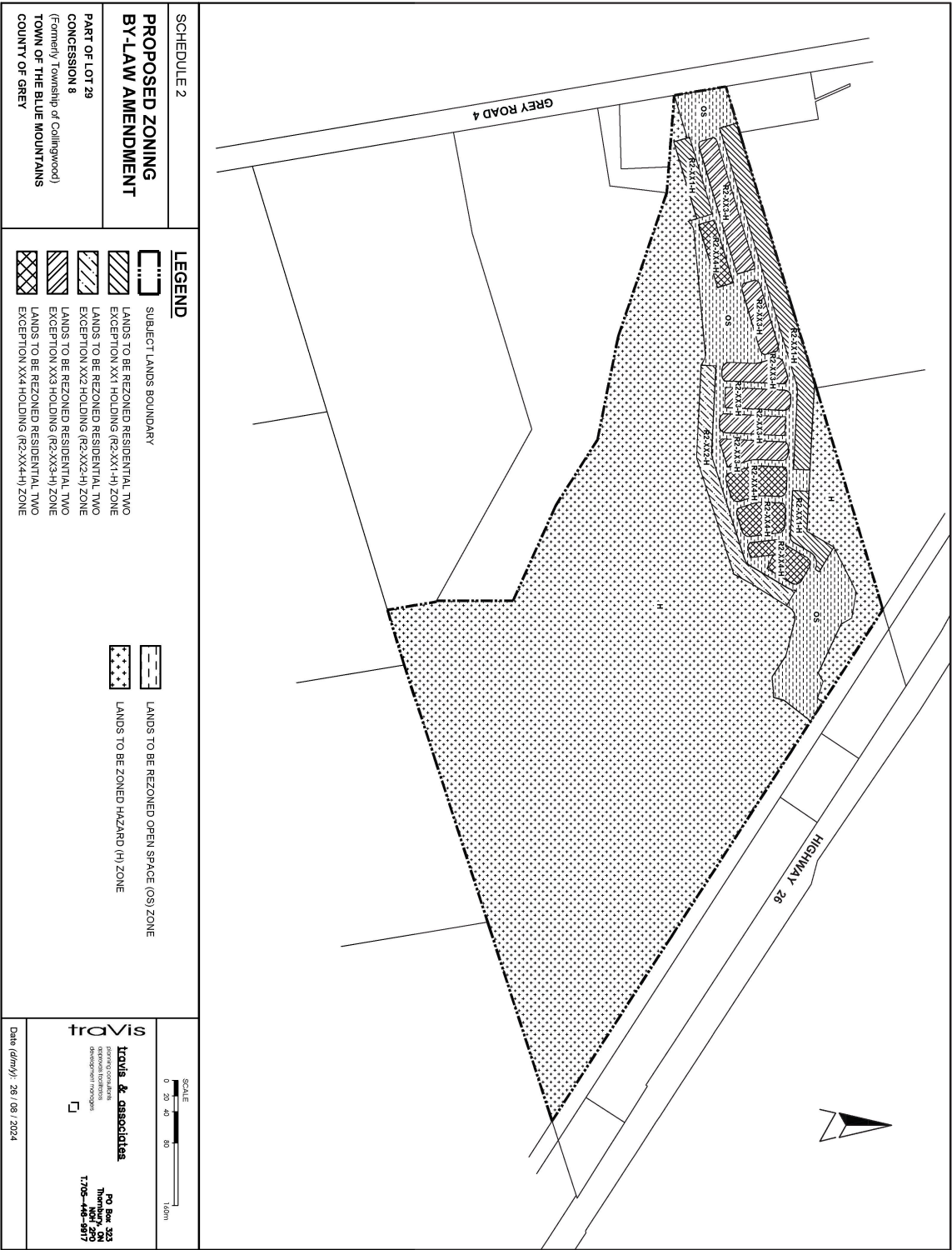
Corrina Giles, Clerk

I hereby certify that the foregoing is a true copy of By-law No. 2024-____ as enacted by the Council of The Corporation of the Town of The Blue Mountains on the -day of -, 2024.

Dated at the Town of The Blue Mountains, this x day of xx, 2024.

Corrina Giles, Clerk

Schedule A-1 To By-law No. _____.












SCHEDULE 2

PROPOSED ZONING BY-LAW AMENDMENT

PART OF LOT 29
CONCESSION 8
(Formerly, Township of Collingwood)
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY

LEGEND

	SUBJECT LANDS BOUNDARY		LANDS TO BE REZONED OPEN SPACE (OS) ZONE
	LANDS TO BE REZONED RESIDENTIAL TWO EXCEPTION XX1 HOLDING (R2:XX1-H) ZONE		LANDS TO BE REZONED HAZARD (H) ZONE
	LANDS TO BE REZONED RESIDENTIAL TWO EXCEPTION XX2 HOLDING (R2:XX2-H) ZONE		
	LANDS TO BE REZONED RESIDENTIAL TWO EXCEPTION XX3 HOLDING (R2:XX3-H) ZONE		
	LANDS TO BE REZONED RESIDENTIAL TWO EXCEPTION XX4 HOLDING (R2:XX4-H) ZONE		

travis
planning consultants
travis & associates
1705-448-9817

travis & associates
planning consultants
travis & associates
1705-448-9817

PO Box 323
Thornton, ON
M3J 1K7
1705-448-9817

SCALE
0 20 40 80 160m

Date (d/m/y): 28 / 08 / 2024

Appendix 3 Comment Matrix

Comment Reponse Matrix

P3325, Homefield 496857 Grey Rd 2

No.	Commenter	Comment	Responder	Proponent Response
Draft Plan of Subdivision Contents				
1	TBM Planning	Please note that the staff observe that rationale for the subdivision application appears to have a potentially different effect from that of the applications required for delivery of the land lease. Additional explanation of the intent, purpose and effect relative to the proposed land lease is requested.	Travis & Associates	Acknowledged. Please refer to section 4.1 to the September Planning Justification Report.
Draft Plan of Condominium Contents				
2	TBM Planning	Please note that the staff observe that rationale for the condominium application appears to have a potentially different effect from that of the applications required for delivery of the land lease. Additional explanation of the intent, purpose and effect relative to the proposed land lease is requested.	Travis & Associates	Acknowledged. Please refer to section 4.1 to the September Planning Justification Report.
Planning Justification Report				
3	TBM Planning	Please provide confirmation of D6 guideline separation as applicable relative to associated separation distances.	Travis & Associates	Acknowledged. Please refer to section 7.4 to the September Planning Justification Report.
4	TBM Planning	Confirm/identify public access easements to/through subject lands	Travis & Associates/ Tatham	<i>No public access easements proposed.</i>
Draft Official Plan Amendment				

5 TBM Planning Please consider using Community Living Area as a base designation and include site specific exceptions that address isolation of the subject lands from established community living area, unique site conditions and influences and the community design implications of the fact that adjacent residential does not exist as a defining element of character as it does in the existing built up residential area characteristic of the CLA designation.

Travis & Associates

Acknowledged. Please refer to section 7.4 to the September Planning Justification Report.

6 TBM Planning Please note full extent of applicable Official Plan policies including but not limited to those in Sections D1 re: staging and E2 phasing.

Travis & Associates

Acknowledged. Please refer to section 7.4 to the September Planning Justification Report.

Draft Zoning Bylaw Amendment

7 TBM Planning Incorporating minimum private amenity area per back to back unit through balcony or roof top amenity space

Travis & Associates

Acknowledged. Please refer to Community Design Guidelines.

8 TBM Planning Increasing interior sideyard of back-to-back to min 2.4 m

Travis & Associates

Sideyards are proposed at 1.2m. These setbacks are consistent with the intent of ZBL Table 6.2.2 requirements. The proposed sideyards are adequate and reasonable. See Community Design Report.

9 TBM Planning Increasing exterior sideyards of back to back units – multiple dwelling requirement is 7.5m.

Travis & Associates

Sideyards are proposed at 4m. These setbacks are consistent with the intent of ZBL Table 6.2.2 requirements. The proposed sideyards are adequate and reasonable. See Community Design Report

10 TBM Planning Reviewing other setbacks for back-to-backs to achieve better fit with consideration for multiple dwelling structure requirements

Travis & Associates

Back-to-back townhouses are a form of rowhouse. Not a multiple dwelling unit. Sideyards are proposed at 1.2 m. These setbacks are consistent with the intent of ZBL Table 6.2.2 requirements. The proposed sideyards are adequate and reasonable. See Community

11 TBM Planning	Providing minimum 6m front yard setback to garage for rowhouses and additional for back-to-backs to accommodate larger vehicles, vehicles with bike racks etc. and curbside garbage pick up can occur and to reduce effect of development massing	Travis & Associates	Reduction in front yard setbacks are requested as per the draft ZBA. Not that for all proposed rowhouse units, a minimum setback of 5.5m from road allowance to face of garage is proposed to accommodate vehicle parking as per Section 5.1.5 of the TBM zoning Bylaw. For all units, ample space is available for curbside pickup at the landscaped areas between driveways (see Unit Typology schematics provided with draft ZBA). Please see Community Design Report and Housing Needs Report for information relating to massing and the applicability of appropriate development density.
12 TBM Planning	Including minimum landscape provision on rowhouses backing onto lands owned by others to effect a buffer	Travis & Associates/ Envision	Acknowledged. Please refer to Community Design Guidelines and Landscape Analysis for buffering .
13 TBM Planning	Including variation in front yard setbacks of rowhouses to achieve variation in streetscape	Travis & Associates	Acknowledged
14 TBM Planning	Increasing number of site specific zones or consider including provisions that increase variation i.e. block lengths, setbacks, height	Travis & Associates	Maximum block lengths have been reduced to 8 units from the previous concept. Additionally, 4 row house typologies are proposed instead of the original 2 typologies. Refer to the Community Design Report and Draft ZBA for details on block length, setback and height variation.

15 TBM Planning	Reducing the total number of units per block for rowhouses and introducing greater variation into block lengths to increase relief in the streetscape and built form	Travis & Associates	Maximum block lengths have been reduced to 8 units from the previous concept. Additionally, 4 row house typologies are proposed instead of the original 2 typologies. Refer to the Community Design Report and Draft ZBA for details on streetscape and built form.
16 TBM Planning	Demonstrating that sufficient storage exists in living space, to allow for viable use of garage for car parking, use of garage for garbage containers and storage.	Travis & Associates	Acknowledged. Please refer to Community Design Report
17 TBM Planning	Demonstrating through driveway design and soft landscaping that there is sufficient on lot snow storage for private snow removal	Travis & Associates	Acknowledged. Refer to snow storage details contained within the Unit Typology Schematics in the Community Design Report.
TBM Planning	Please consider what arrangements would be made for rear yard access for townhomes	Travis & Associates	Acknowledged. Refer to Unit Typology Schematics in the Community Design Report.
17 TBM Planning	Please consider the location of open space/buffer lands adjacent to the Georgian Trail.	Travis & Associates / Envision Tatham	Acknowledged. Refer to Community Design Report and Landscape Analysis

Functional Servicing Report

18 TBM	Please note Town preference for servicing from Grey Rd 2 for location of water and wastewater services.	Tatham	Acknowledged. As detailed in the FSR, there are many benefits to the proposed servicing strategy connecting to Hwy 26. This application has not yet had the benefit of dialogue with Town Engineering Staff on the pros & cons and cost/ benefit analysis of both strategies. Additionally, contrary to comments received, there are provisions within the TBM Engineering Standards that can accomodate connections to Hwy 26 (see section 4.3.1 of Standards)
19 TBM	Please be advised that assumptions submitted in the Servicing Analysis document re: water and wastewater capacity are not recognizing current demand by way of recognized and approved development applications and projects.	Tatham	Water and wastewater capacity information is based on the July 2, 2024 Staff Report issued by Water & Wastewater servcies. Staff have not provided any further detail on servicing allocation/ capacity as it relates to "recognized and approved development applications and projects".
20 TBM	2023 year end water and wastewater capacity assessment will be presented to Committee of the Whole in July 2024. Preliminary conclusions are that current water system capacity is substantially, if not entirely, committed. Future water system capacity – Town has just filed an EA examining options. No current project funding has been assigned to this project and construction completion is potentially 5-10 years away.	Tatham	the July 2, 2024 Staff Report issued by Water & Wastewater services indicates that 2,554 units of allocation are currently avaialable. Additionally it is suggested that: "evaluation for the water system does include considerations for the Campus of Care and the additional units for sites B, E and F at the Village" Which would indicate that a portion of the 2,579 reserved units are attributed to projects with status that is subject to change.
21 TBM	Preliminary conclusions are that current wastewater system capacity is substantially, if not entirely, committed and this project would be dependent on completion of a Phase 1 B expansion. Any wastewater treatment plant capacity within Phase 1A is dependent on construction of an outfall into Georgian Bay with estimated completion date of 2026 (please note it is unlikely that there will be any capacity within1A for this project)	Tatham	the July 2, 2024 Staff Report issued by Water & Wastewater services indicates that 2,215 units of allocation will be available upon commissioning of the Phase 1A expansion and associated outfall infrastructure.

22 TBM	Please provide related comprehensive servicing analysis addressing capacity and any required upgrades associated with the grey Rd 2 servicing option with regard to: gravity sewer, Lakeshor Pumping Station, Force main	Tatham	<i>Refer to the FSR</i>
23 TBM	The Wastewater Collection Master Plan expected completion is end of 2024 , however this property was not considered in the wastewater master plan. At the applicants expense, upon completion of the Master Plan, – they can contact J.L.Richards and, subject to confirmation from the Town, get an estimate to add the proposed development to the full build out model scenario, to determine any associated upgrades that would be applicant responsibility to address	Tatham	It is acknowledged that the Wastewater Collection Master Plan is ongoing, however the project is well advanced and the FSR includes wastewater modeling for the full buildout model (as it is currently understood) completed by JLR. Additional modeling can be advanced to account for any changes to the full buildout scenario as the study is finalized. It should be acknowledged that the ongoing nature of this study offers an opportunity to include the subject lands within the study to account for the proposed development as it advances through the approvals process.
24 TBM	Please be advised that the Town does not/ can not support looping of public services through private lands.	Tatham	We request references to policies and standards that would support this position. The looped watermain system and a sanitary connection to Hwy 26 are both feasible in accordance with Section 4.3.1 of the TBM Engineering Standards, and they offer significant benefits to the Town's overall infrastructure relative to the other servicing option.
25 TBM	Please demonstrate the adequacy of fire flow (without looping). Where fire flows are insufficient please confirm sprinklering or fire resistive construction	Tatham	Refer to water modeling completed by JLR and demand calculations contained within the FSR.
26 TBM	Please demonstrate adequacy of water system flows and pressure to off-site lands on Grey Rd. through water model run by JLR at Developer cost	Tatham	Refer to water modeling completed by JLR and demand calculations contained within the FSR.

27 TBM	Various questions about land tenure associated with proposed servicing to the east. (Sanitary Servicing of multiple private properties through each other is contrary to Ontario Building Code, and the Ontario Water Resources Act)	Tatham	The proposed scenario does not include "Sanitary Servicing of multiple private properties through each". Sanitary servicing would cross the site (private property), into the Georgian Trail (municipal lands) and into GSCA lands (private property owned by collaborative agency). At no point are servcies proosed to cross adjaent private parcels.
28 TBM	Engineering standard requirement for public services in town owned block and middle of ROW – additional standards as applicable set out in Engineering Standards-2023	Tatham	Refer to Section 4.6.3.6 of the Engineering Standards. "The sanitary sewer shall be located in accordance with the Town's typical road cross-sections which is generally in the center of the right-of-way." Note that cross-sections only exsist for local roads. Nothing is provided for arterial roads (Greay Road 2). It is generally uncommon to have sewers placed at the centerline of heavily travelled arterial roads. Suggest consultation with the County regarding their preferred alignment within this road.
29 TBM	Please note proposed cross lot servicing on CON 8 PT LT 32 & PT RD ALLOW BETWEEN CON 8 LT 30 & 31 RP 16R4224 PART 1 near Grey Rd 2 and HWY 26 isnot supported. Any new services should run to the intersection of Grey Rd 2 and HWY 26 in accordance with Engineering Standards	Tatham	Aknowledged.
30 TBM	Please demonstrate that the stormwater design meets MECP requirements for enhanced quality and thermal control related to discharge into the Indian Brook coldwater fishery.	Tatham	A stormwater management report has been provided documenting the SWM plan for the site including quality and thermal controls.
31 TBM	Please confirm that the proposed block size is sufficient to accommodate the proposed facility.	Tatham	A stormwater management report has been provided documenting the SWM plan for the site including quantity and quality control
32 TBM	Please address any limitations associated with the location of the SWM facility within the flood plain.	Tatham	The SWM facility has been substantially removed from the flood plain. A small amount of grading associated with an existing dug
33 TBM	Please provide commentary on proposed method for handling quantity	Tatham	The SWM plan controls proposed condition flows to existing levels for the 1:2 through 1:100 year 4 hour Chicago and 6, 12 and 24 hour

34 TBM	Please provide proof to support the proposed “beat the peak’ SWM strategy whereby Quantity control is not proposed and if LID is being proposed as part of SWM strategy, demonstrate that a responsible operator for the system has been identified	Tatham	This approach is no longer proposed.
35 TBM	Please demonstrate viable locations (if any) and effect of any LID on appropriate sizing and function of stormwater management block and if LID is being proposed as part of SWM strategy, demonstrate that a responsible operator for the system has been identified.	Tatham	Water balance and LIDs are addressed in the SWM report. They may be implemented for volume control but have little impact on overall quantity control volumes that drive the pond size.

Natural Hazard Analysis

36 TBM	Please provide additional explanation of the functional impacts and design mitigation of locating SWM pond in flood plain	Tatham	The SWM facility has been substantially removed from the flood plain. A small amount of grading associated with an existing dug
37 TBM	Please note that the area near the entrance to the proposed development was identified as having a wet area and any related hazard requires further confirmation	Tatham	As confirmed in the Hazard Assessment Report submitted during preconsultation, this area is not within the floodplain. Should any soil bearing capacity issues be present in this area, they will be addressed appropriately during construction in consultation with the project geotechnical engineer
38 TBM	Please note any constraints on potential park programming and maintenance related to flood plain designation.	Tatham	The floodplain area within the development footprint has been revised to be "retained natural heritage area" these area will remain naturalized with no disturbance proposed. All park programming will be outside the floodplain.
39 TBM	Please note that lands within the Hazard Lands designation and/or which have been identified as hazard lands shall not be considered as part of the required minimum dedication of parkland pursuant to this section of the Plan.	Travis & Associates	Aknowledged.

Community Design Report Comments

40 TBM	Note Planning Act 34(4) regarding the details of the proposed site specific zone	Travis & Associates	Refer to Community Design Report and Draft PJR
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41 TBM	Please consider revisions to roadway design to avoid long straight aways	Travis & Associates	<p>Acknowledged The Entrance has been revised to reduce the length of the longest straight away. Stop controlled intersections and other traffic calming measures can also be implemented to ensure safe vehicle circulation through the site. The longest straight away is +/- 320m and the longest section of road between stop controlled intersections is +/- 175m.</p> <p>It should be aknowldged that the irregular nature of the site geometry limits flexibility with the road network.</p>
42 TBM	Please review parkland in terms of sizing, distribution, centrality, visibility, accessibility and proposed programming. Current design concentrates parkland in east end of site in flood plain. Other parks do not appear well distributed to provide relief throughout the site to the proposed intensity of development and are bound by parking spaces at entrances with limited view exposure and potential accessibility issues.	Travis/ Envision Tatham	<p>The distribution of park land has been updated with this application. The neighbourhood park is now centralized for improved view exposure and accessibility. Parkland at the east end of the site is now proposed as a combination of a linear park providing connectivity to the Georgian Trail and "Retained Natural Heritage Area" which will remain neturalized.</p>
43 TBM	Given isolation of the site is there an opporutunity to provide some additional on-site amenities? Consider and advise regarding community amenities i.e. clubhouses, tennis courts, pools etc. and suitable locations	Travis & Associates	<p>Amenities have been detailed within the Landscape Concept and the Community Design Report. These inlcude: Shade pavillion, playground, community garden, off-leash god run, reacreational trails and park open space.</p> <p>It should be aknowldged that amenities such as club houses, pools, etc. have substantial operating and upkeep costs, which must be passed on to the residents of the community. This does not align with the goal of reducing shelter costs and providing attainable housing. Amenities were selected to balance maximum benefit to residents with minimal maintenance costs. TBM also provides a robust offering of public amenities that residents will benefit from.</p>

44 TBM	Please review the viability of continuous parking on curve, distribution of parking throughout the site at current locations and consider more even distribution such as locating at ends of blocks	Travis & Associates	Distribution of visitor parking areas has been altered with the updated Site Plan Concept. This includes parking areas at the end of blocks where feasible. Where parking is provided along a road curve, parking stall dimension as per Section 5.1.5 of the TBM Zoning Bylaw will be maintained. Line painting including zebra markings (and/or concrete medians) within any irregular wedge shaped areas will be utilized to ensure the limits of parking stalls are clearly defined. Further detail will be provided at detailed design.
45 TBM	Planning brief suggests some potential for view impacts of development, similarly required fill may elevate the site and alter existing conditions with resultant increase in impact – Please confirm anticipated amount of fill and confirm impacts and opportunities to mitigate these through Zoning and design provisions.	Travis/ Tatham	Please refer to Preliminary grading in FSR which identifies limited fill requirements.
46 TBM	Note design impact of utility and service equipment exposure on lot and mitigate by strategic location and masking	Tatham/ Envision	Acknowledged and is a standard design and placement consideration.
47 TBM	Identify garbage storage and pick up method and identify on lot and centralized garbage storage locations and design (if applicable).	Travis & Associates	Addressed in Community Design Guidelines. Design to account for municipal pick up per discussions with the municipality.
48 TBM	How to handle lack of storage space in unit, room for garbage and other items – if garbage is to be picked up at curb – please demonstrate that there is sufficient space within the units to store garbage bins and specify the bin standard, to store a vehicle and store household possessions while allowing for usage of the driveway.	Travis & Associates	Addressed in Community Design Guidelines. Design to account for municipal pick up per discussions with the municipality.

49 TBM	Please review the distribution of unit types, block lengths and open space. Note concentration of parkland in the east, long, uninterrupted peripheral blocks, concentration of built form without greenspace relief, note site specific OPA and ZBA comments.	Travis & Associates	The distribution of park land has been updated with this application. The neighbourhood park is now centralized for improved view exposure and accessibility. Parkland at the east end of the site is now proposed as a combination of a linear park providing connectivity to the Georgian Trail and "Retained Natural Heritage Area" which will remain naturalized.
50 TBM	Please see comments on proposed OPA and ZBA relative to related site specific designations and provisions and note relationship to community design report.	Travis & Associates	Please refer to PJR
51 TBM	Please further confirm view impact of proposed development and apply related mitigating measures i.e. (reduced heights, stepbacks, setbacks, buffers etc)	Travis/ Envision Tatham	Please refer to PJR
52 TBM	Provide information and consider the effect of any imported material for site grading	Travis/ Tatham	<i>Refer to Preliminary Grading</i>
53 TBM	Please show driveway plans and demonstrate how the building facades will address the relative percentage of garage to building façade.	Travis & Associates	Please refer to unit layout in Community Design Report

54 TBM	Please confirm compensation ratios, tree retention, replanting, enhancement planting as part of the submission	Birks/ Envision Tatham	Section 7.4 of the Environmental Impact Study and the Tree Inventory and Preliminary Preservation Plan (both prepared by Birks Natural Heritage Consultants, Inc.) both speak to
55 TBM	Please confirm the status of lands shown as green but outside of setback areas	Birks/ Travis	These areas will be "Retained natural heritage areas". This has been more clearly reflected and defined with the submitted materials. These lands will remain undisturbed and will be zoned Hazard in conjunction with all other natural heritage areas to be preserved. Figure 4 of the Environmental Impact Study
56 TBM	Please confirm the suitability of wetland/hazard area as appropriate location of recreational trail given any natural heritage restrictions or other limitations	Birks/ Envision Tatham	Formal details regarding the trail are not available at this time. However, it is anticipated that the trail will take the form of a low maintenance walking trail, akin to the Bruce Trail. No site alterations beyond the clearing of brush are anticipated. There is opportunity to orient the trail along some of the existing trail system further reducing anticipated impacts. Grey County has provided recommendations for the design of low-impact trail systems that will

Tree Inventory and Protection Plan

57 TBM	Please note any additional details/requirements identified by the County whose ecologist acts as the Town's peer reviewer.	Birks	A terms of reference for the study was confirmed with the County and has been provided as Appendix C within the Tree Inventory and Preliminary Preservation Plan (Birks, 2024)
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Affordable/ Attainable Housing Report

58 TBM	Proposed terms of reference were requested to include total projected carrying costs of proposed housing options and to reference the Housing Needs Assessment to identify how proposed housing options responded to local housing conditions and met or targeted local housing needs and price points. Based on a review of the proposed terms of reference and accompanying narrative staff again request that this information be provided.	Travis & Associates	Acknowledged. See Housing Needs Report
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59 TBM Please provide additional explanation of the details of the attached table summarizing the findings relative to the assessment of compliance with Planning Act and Provincial Policy Statement references to attainable housing relative and how these relate specifically to localized gaps in attainability. Travis & Associates *Please refer to the Housing Needs Report*

60 TBM Please advise how the development is or is not meeting and or targeting gaps in local housing needs and mix in tenure, built form and pricing and what the ultimate targeted price points are likely to be and why. Travis & Associates *Please refer to the Housing Needs Report*

County Comments

61 Grey County County staff have never processed a development before which included subdivision, condominium, and land lease approaches all built into one development. Staff will require additional clarification on how the three approaches will fit together, and whether all three are needed, or if two of the three would suffice. Not having reviewed developments of this nature before staff have tentative concerns about how both the land lease and condominium approaches would apply, and whether it would be both administratively and financially burdensome to the end users (i.e., will people be paying land lease and condominium fees). Travis & Associates *Acknowledged. Please refer to section 4.1 to the September Planning Justification Report.*

62 GSCA The Natural Hazard Assessment is considered generally acceptable. It establishes the Regional Floodplain extent and the attached Slope Stability Assessment establishes the Erosion Hazard Limit. Both limits are considered acceptable. Noted.

63 GSCA

The Preliminary Servicing Brief proposes to connect the on-site Watermain and Sanitary Service to the existing services on Highway 26. This would require the services to extend through GSCA property. Permission and approval would be required from GSCA prior to proceeding with this servicing option. The GSCA would be open to discussion regarding an easement on the following conditions:
The servicing is installed via Directional Drilling. No trees are disturbed or removed on the GSCA property.
o A plan is prepared on how to address future maintenance/repair of the services which does not involve disturbing the GSCA property or removing any trees.
o The services through the GSCA property are owned and operated by the Town of the Blue Mountains. The easement would be provided to the Town. Since the property will be developed as a Condominium, the GSCA does not want to be dealing with a Condominium Corporation in the future regarding maintenance/repairs. This option is only acceptable if the Town accepts the services.
o Acceptable compensation is provided. This would need to be discussed with the GSCA Board of Directors.

Tatham

Subject to the Town agreeing with this approach, these requirements would be addressed as follows:
-Services will be installed by suitable trenchless methodology with no surface disturbance or tree impacts on GSCA lands.
-Services within GSCA lands would be installed without any structures or appurtenances and would be within a casing and grouted such that access and/ or maintenance is not required. Any sewer flushing would be conducted from the manholes located on either side of the alignment in question. The design service life of all services would be ___ years.
-Compensation to be discussed following resolution of preferred strategy with the Town.

64 GSCA

The Preliminary Servicing Brief confirms how stormwater management will be conveyed through the site and that it will drain to a Stormwater Management Pond. The pond is noted that it is to provide Enhanced stormwater quality control. However, there is no mention of whether stormwater quantity control is required or provided and there is no mention on the potential impacts of stormwater discharge from the site, where it will be discharged and whether there is an acceptable outlet point from the site to drain to Indian Brook. Additional detail is required to understand the intended purpose of the SWM Pond and how it will outlet.

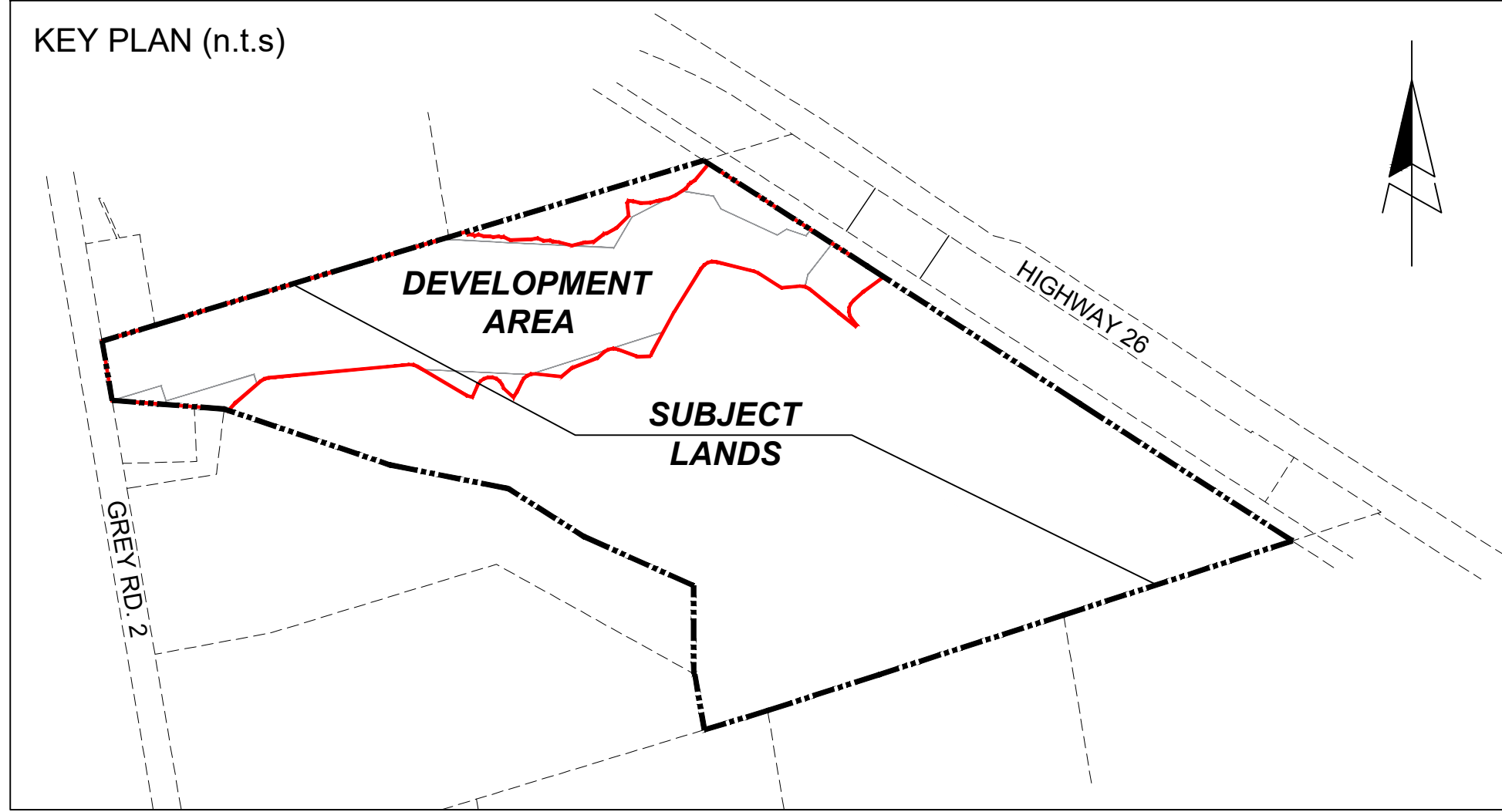
Tatham

Acknowledged. Please refer to the Preliminary SWM report

65 GSCA	<p>The proposed SWM Pond is located in an area that is within the ‘floodplain area’ during a Regional Storm, which is generally not allowed. The Preliminary Servicing Brief notes that GSCA policy allows it since it is outside of the riparian and effective flow areas for the watercourse. However, as previously noted by GSCA staff, all criteria in GSCA Policy Section 7.1.2 must be met. Further, Section 8.1.14, indicates that this would be allowed only if there is “no feasible alternative site outside the Riverine Flooding Hazard....” and provided several criteria are met including “no loss of flood storage, etc...”. At this time, the SWM Pond location is not considered acceptable</p>	Tatham	Acknowledged. Please refer to the Updated Concept in the Planning Justification Report
66 GSCA	<p>There are several existing drainage features and constructed pond features that are within the proposed development area that can be problematic for development if not adequately addressed. Further details are required regarding internal and external drainage flows in and around the development</p>	Tatham	
67 GSCA	<p>The Technical Memorandum prepared by Birks includes existing conditions mapping (Figure 1) that identifies different vegetation communities including swamp and marsh communities, which are types of wetlands. It is noted the proposed development appears to encroach into vegetation community #5 and #6 which are wetland type communities. We recommend development avoid the existing wetland communities. Otherwise, more details are required as it pertains to the encroachment, potential for natural hazards, GSCA policy applicability and O. Reg. 41/24. We anticipate a fulsome EIS to be provided with the formal submission</p>	Birks	Birks NHC has prepared an Environmental Impact Study for the application, provided within the submission package.
68 GSCA	<p>In addition to comment #6, wetland communities may feature organic soils, which can be unstable. Further analysis of soil conditions are required to address any instability concerns.</p>	Geotech	Refer to Geotechnical study.

Municipal Review Comments

Appendix 4 Concept Plan



HINDS BROOK SITE DEVELOPMENT PLAN

496857 GREY RD. 2
PART OF LOT 29
CONCESSION 8
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY

SITE DEVELOPMENT CONCEPT SUMMARY

TOTAL SITE AREA: +/- 37.37 HA
 TOTAL DEVELOPMENT AREA: +/- 9.8 HA
 TOTAL NUMBER OF DWELLINGS: 376 ROWHOUSE DWELLINGS
 DENSITY PER TOTAL DEVELOPMENT AREA: 38 DWELLINGS / HA

RESIDENTIAL ROWHOUSE DWELLINGS - TOTAL 376 DWELLINGS

ROWHOUSE TYPE 1 - ROWHOUSE STANDARD (6.1m Frontage) - 54
 ROWHOUSE TYPE 1A - ROWHOUSE STANDARD (6.1m Frontage) - 46
 (reduced rear yard setback from min. 6.5m to min. 4.5m)
 TOTAL ROWHOUSE DWELLINGS TYPE 1 & 1A - 100

ROWHOUSE TYPE 2 - ROWHOUSE STANDARD (7.4m Frontage) - 42
 (reduced rear yard setback from min 6.0m to min 4.5m)

ROWHOUSE TYPE 3 - ROWHOUSE BACK TO BACK (6.7m Frontage) - 156

ROWHOUSE TYPE 4 - ROWHOUSE (4.95m Frontage) - 62
 ROWHOUSE TYPE 4A - ROWHOUSE (4.95m Frontage) - 16
 (increased rear yard setback from min. 3.5m to min. 5.5m)
 TOTAL ROWHOUSE DWELLINGS TYPE 4 & 4A - 78

GENERAL NOTES

All site measurements are in Metric.
 All proposed site development features and measurements are illustrated for project review and discussions.

Plan Drawing References

- Zubek, Ems, Patten & Thomson Ltd. O.L.S., Plan of Survey (2024)
- Tatham Engineering, Hinds Property, Conceptual Constraint Plan (2024)
- Birks Natural Heritage Consultant Inc., Natural Heritage Constraints Study (2024)
- Town of The Blue Mountains, Zoning By-Law 2018-65

LEGEND

- Property Boundary (+/-37.37 ha)
- Development Area (+/-9.8 ha) - per Natural Features Constraints
- Residential Rowhouse - Standard / Type 1 & 1A (100 Dwellings)
- Residential Rowhouse - Standard / Type 2 (42 Dwellings)
- Residential Rowhouse - Back To Back / Type 3 (156 Dwellings)
- Residential Rowhouse - Narrow / Type 4 & 4A (78 Dwellings)
- Neighbourhood Park & Parkette Areas (+/-1.22 ha or 12.4% of the Total Development Area)
- Retained Natural Heritage Areas - No Disturbance (+/-1.43 ha or 14.6% of the Total Development Area)
- SWM Pond (+/- 0.77 ha or 7.7% of the Total Development Area)
- Natural Heritage Constraint Area
- Natural Heritage Setback Area
- Temporary Snow Storage Areas
- Watercourse
- Natural Heritage Constraint Area Limit
- 15m Natural Heritage Area Setback
- Recreational Trail (Alignment to be confirmed during construction)
- 8m Wide Condominium Road
- Condominium Road Centerline (6m R.O.W, 12m Radius on Curb Centerline)
- Sidewalk (1.5m)
- Additional On-Site Parking 55 Spaces (Min. 2.75m x 5.5m)

SCALE 1:750 (24" x 60" Page Format)

0 10 20 40 60 80 Metres

Revision#

Date D/M/Y Description / Notes

Revision#	Date D/M/Y	Description / Notes
1.	31/01/2024	PRELIMINARY DRAFT / ISSUED FOR REVIEW
2.	07/02/2024	REVISED DRAFT / ISSUED FOR REVIEW
3.	23/02/2024	REVISED DRAFT / ISSUED FOR REVIEW
4.	04/06/2024	REVISED DRAFT / ISSUED FOR REVIEW
5.	14/08/2024	REVISED DRAFT / ISSUED FOR REVIEW
6.	30/08/2024	REVISED DRAFT / ISSUED FOR REVIEW
7.	06/09/2024	REVISED DRAFT / ISSUED FOR REVIEW

File/CAD: T&A_HindsBrook-SitePlan.dwg

Date(d/m/y): 06/09/2024 Drafted by: D.C. Checked by: A.H./R.A./C.T.

D-1

Scale: 1:750 (24" x 60" Page Format)

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6.	30/08/2024	REVISED DRAFT / ISSUED FOR REVIEW
7.	06/09/2024	REVISED DRAFT / ISSUED FOR REVIEW

File/CAD: T&A_HindsBrook-SitePlan.dwg

Date(d/m/y): 06/09/2024 Drafted by: D.C. Checked by: A.H./R.A./C.T.

D-1

Scale: 1:750 (24" x 60" Page Format)

0 10 20 40 60 80 Metres

Revision# Date D/M/Y Description / Notes

Revision#	Date D/M/Y	Description / Notes
1.	31/01/2024	PRELIMINARY DRAFT / ISSUED FOR REVIEW
2.	07/02/2024	REVISED DRAFT / ISSUED FOR REVIEW
3.	23/02/2024	REVISED DRAFT / ISSUED FOR REVIEW
4.	04/06/2024	REVISED DRAFT / ISSUED FOR REVIEW
5.	14/08/2024	REVISED DRAFT / ISSUED FOR REVIEW
6.	30/08/2024	REVISED DRAFT / ISSUED FOR REVIEW
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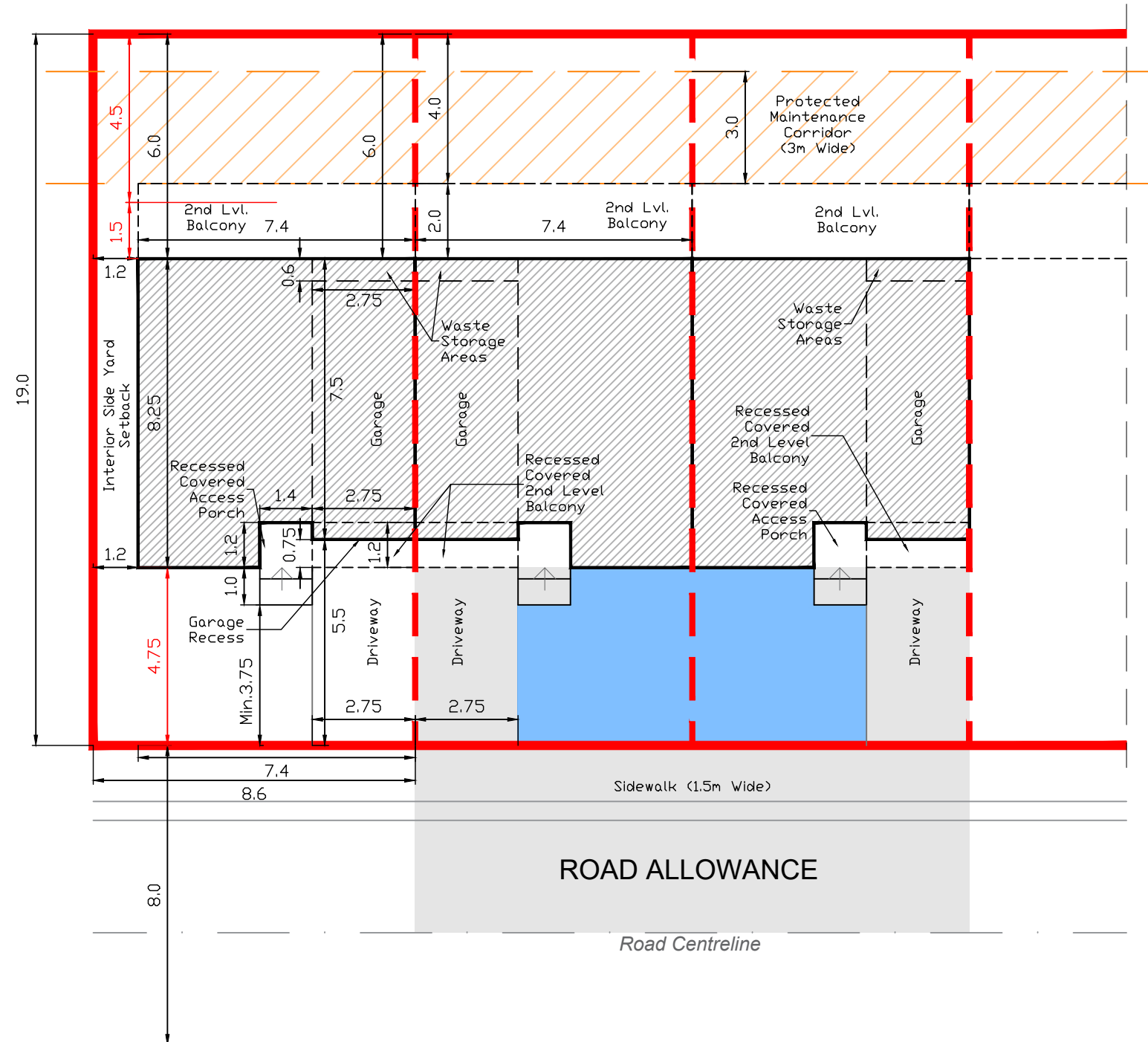
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File/CAD: T&A_HindsBrook-SitePlan.dwg

Date(d/m/y): 06/0

Appendix 5 Lot Plans

TYPE 2 - ROWHOUSE DWELLING (STANDARD 7.4m Frontage)



ROWHOUSE DWELLING TYPE 2 LOCATIONS ON THE SITE DEVELOPMENT PLAN DRAWING

Plan Drawing Reference

- ROWHOUSE DWELLING - TYPE 2**
- BUILDING BLOCK: 12
(1 x 6 DWELLINGS = 6 DWELLINGS)
 - BUILDING BLOCK: 13
(1 x 4 DWELLINGS = 4 DWELLINGS)
 - BUILDING BLOCKS: 14-17
(4 x 8 DWELLINGS = 32 DWELLINGS)

TOTAL 42 - TYPE 2 ROWHOUSE DWELLINGS

TOTAL 42 - TYPE 2 PROPOSED ROWHOUSE DWELLINGS

RESIDENTIAL 2 (R2) ZONE - ROWHOUSE DWELLING		
ZONE STANDARD	REQUIRED	PROVIDED
Minimum Lot Area (m ²)	190	140.6
Minimum Lot Frontage (m)	6.0	7.4
Minimum Front Yard (m)	6.0	4.75
Minimum Exterior Side Yard (m)	4.0	4.0
Minimum Interior Side Yard (m)	1.2	1.2
Minimum Rear Yard (m)	7.5	4.5
Maximum Main Bldg. Height (m)	11.0	11.0
Maximum Main Bldg. Height (storey)	3	3

ON-LOT SNOW STORAGE AREA & RATIO

Per 2 Adjacent Units

- Snow Removal Area (Hard Surface)
+/- 103 sq.m.
- Snow Storage Area
+/- 41.4 sq.m.
Approx. 40.2% of the Snow Removal Area

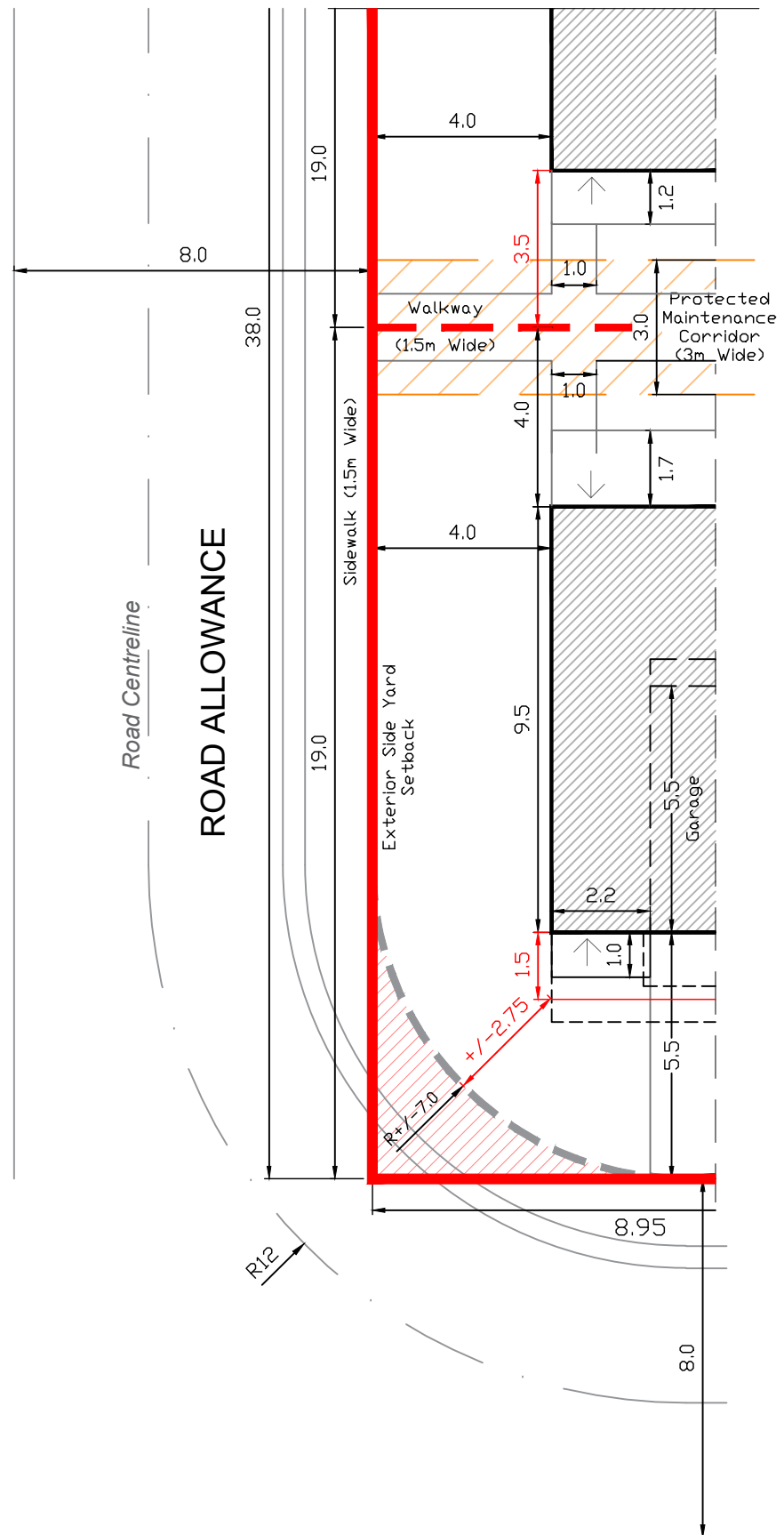
Note:
Additional dedicated snow storage areas provided - refer to Site Plan drawing for details.

SCALE / METRIC
(1:150 - 11"x17" Page Format)

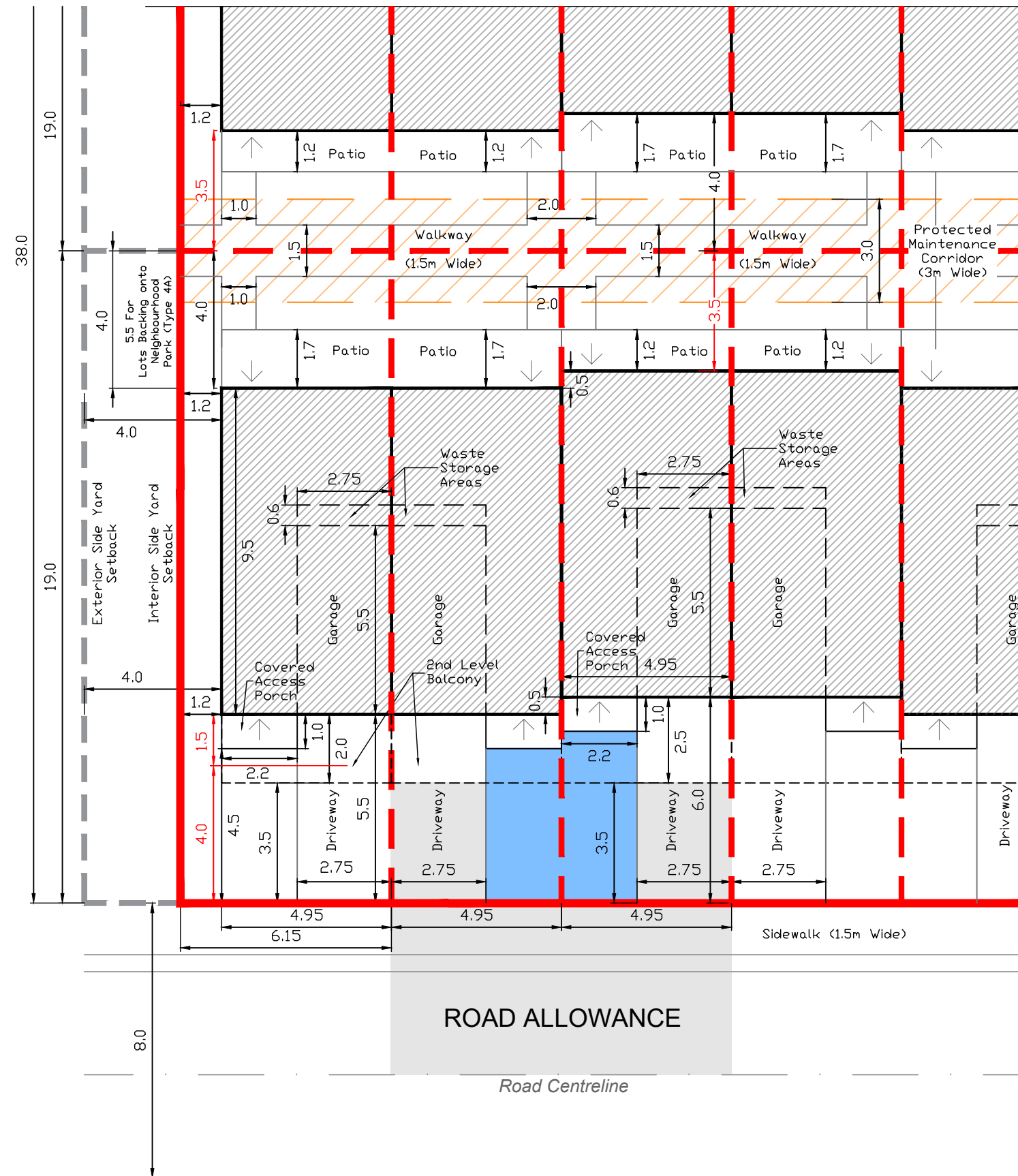


TYPE 4 & 4 A - ROWHOUSE DWELLING (NARROW 4.95m Frontage)

End Unit - Exterior Side Yard Setback



End Unit - Interior Side Yard Setback



ROWHOUSE DWELLING TYPE 4 & 4A LOCATIONS ON THE SITE DEVELOPMENT PLAN DRAWING

Plan Drawing Reference

- ROWHOUSE DWELLING - TYPE 4**
- BUILDING BLOCK: 36 (1 x 7 DWELLINGS = 7 DWELLINGS)
 - BUILDING BLOCK: 37 (1 x 6 DWELLINGS = 6 DWELLINGS)
 - BUILDING BLOCK: 38 (1 x 5 DWELLINGS = 5 DWELLINGS)
 - BUILDING BLOCK: 39 (1 x 6 DWELLINGS = 6 DWELLINGS)
 - BUILDING BLOCK: 40 (2 x 5 DWELLINGS = 5 DWELLINGS)
 - BUILDING BLOCK: 41 (1 x 4 DWELLINGS = 4 DWELLINGS)
 - BUILDING BLOCK: 42 (1 x 8 DWELLINGS = 8 DWELLINGS)
 - BUILDING BLOCK: 43 (1 x 5 DWELLINGS = 5 DWELLINGS)
 - BUILDING BLOCKS: 44-45 (2 x 8 DWELLINGS = 16 DWELLINGS)
- TOTAL 62 - TYPE 4 ROWHOUSE DWELLINGS**
- ROWHOUSE DWELLING - TYPE 4A (Lots Backing onto Neighbourhood Park)**
- BUILDING BLOCKS: 18-19 (2 x 8 DWELLINGS = 16 DWELLINGS - TYPE 4A)
- TOTAL 16 - TYPE 4A ROWHOUSE DWELLINGS**

TOTAL 78 - TYPE 4 & 4A PROPOSED ROWHOUSE DWELLINGS

RESIDENTIAL 2 (R2) ZONE - ROWHOUSE DWELLING		
ZONE STANDARD	REQUIRED	PROVIDED
Minimum Lot Area (m ²)	190	94.05
Minimum Lot Frontage (m)	6.0	4.95
Minimum Front Yard (m)	6.0	5.5
Minimum Exterior Side Yard (m)	4.0	4
Minimum Interior Side Yard (m)	1.2	1.2
Minimum Rear Yard (m)	7.5	3.5
Maximum Main Bldg. Height (m)	11.0	11.0
Maximum Main Bldg. Height (storey)	3	3

Note:
 The Provided Minimum Exterior Side Yard is 2.35m where the building block has no 1.5m Sidewalk along the Rowhouse Dwelling frontage.
 The Provided Minimum Rear Yard Setback is 5.5m where the lots are backing onto Neighbourhood Park areas. (Dwelling Type 4A - Building Blocks 18 & 19)

ON-LOT SNOW STORAGE AREA & RATIO

Per 2 Adjacent Units

- Snow Removal Area (Hard Surface) +/- 70 sq.m.
- Snow Storage Area +/- 20 sq.m. Approx. 28.6% of the Snow Removal Area

Note:
 Additional dedicated snow storage areas provided - refer to Site Plan drawing for details.

SCALE / METRIC
 (1:150 - 11"x17" Page Format)

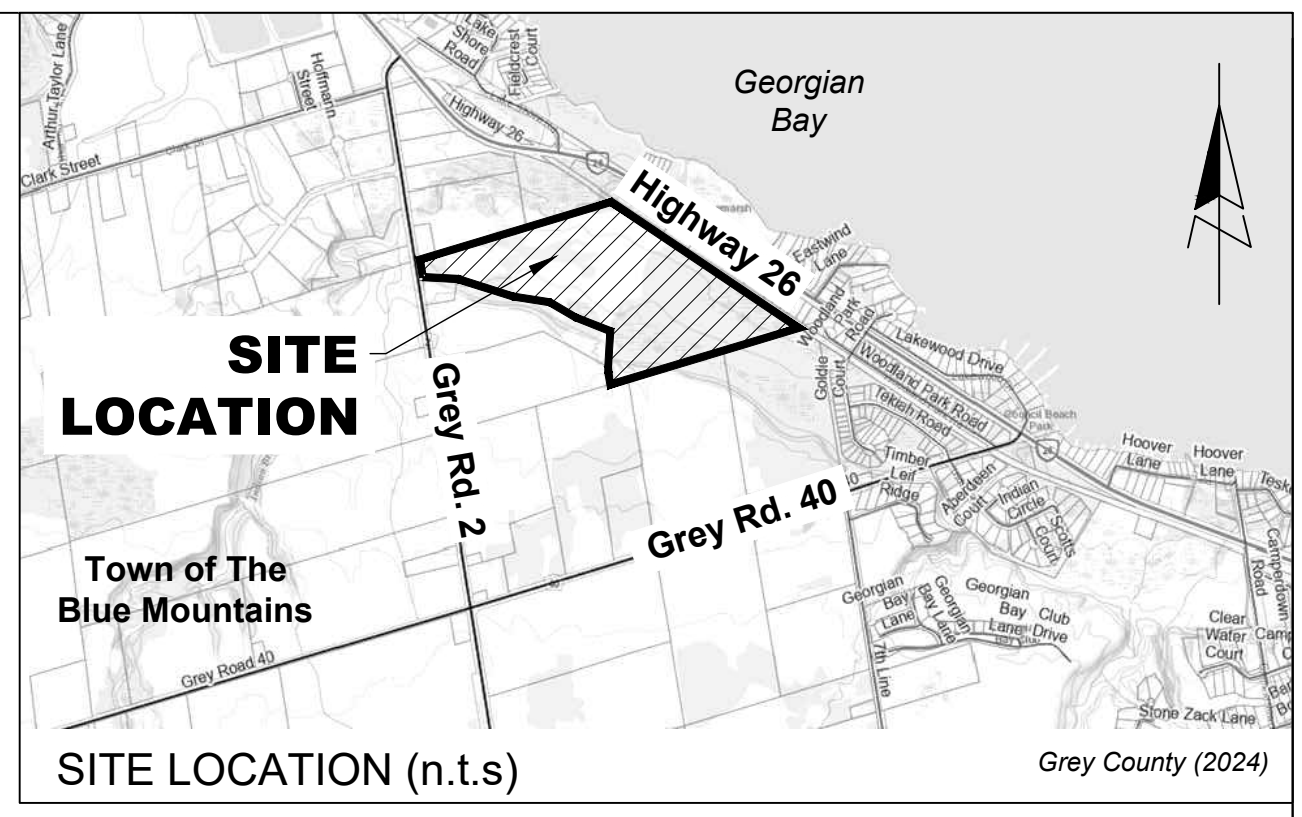


travis & associates
 planning consultants
 approvals facilitators
 development managers

PO Box 323
 Thornbury, ON
 N0H 2P0
 T. 705-446-9917

Appendix 6

Draft Plan of Subdivision



**DRAFT PLAN OF SUBDIVISION OF
PART OF LOT 29
CONCESSION 8
(Formerly Township of Collingwood)
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY**



SCHEDULE OF LAND USE
BLOCK# - LAND USE - AREA(m²)(+/-)

CONDOMINIUM BLOCK	83767.62
HAZARD BLOCKS	15589.07
HAZARD TOTAL AREA(m ²)	289950.64

BLOCK 377 ON PLAN OF SUBDIVISION
LOT/BLOCK# - USE - AREA(m²)(+/-)

RESIDENTIAL ROWHOUSE LOTS (POTLS)	45699.95
COMMON ELEMENTS CONDOMINIUM	38069.67

SITE DEVELOPMENT SUMMARY

TOTAL SUBJECT LANDS AREA	37378.26 (+/-) (37.37ha)
TOTAL CONDOMINIUM BLOCK 377	83767.62 (+/-) (8.37ha)
TOTAL HAZARD BLOCKS 378 & 379	289950.64 (+/-) (28.99ha)

HAZARD BLOCKS INCLUDE:
NATURAL HERITAGE AREAS (PER NATURAL HERITAGE CONSTRAINTS STUDY)
PROPOSED NATURAL HERITAGE SETBACK AREAS
AND RETAINED NATURAL HERITAGE AREAS (NO DISTURBANCE AREAS)

PATTEN & THOMSEN
200 MOUNTAIN ROAD
UNIT 4
COLLINGWOOD, ONTARIO L9Y 4V5
PHONE: (705) 445-4910

travis & associates
planning consultants
P.O. Box 323
Thorburn, ON
N0M 2P0
1.705-446-9917

PLAN REFERENCES:
- PLAN OF SURVEY BY ZUREK, ENG, PATTEN & THOMSEN LTD. O.L.S.
- TOPOGRAPHIC SURVEY BY TATHAM ENGINEERING
- NATURAL HERITAGE CONSTRAINTS STUDY BY BIRKS NATURAL HERITAGE CONSULTANTS INC.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AND THEIR RELATION TO THE ADJACENT LANDS ARE ACCURATELY SHOWN ON THIS PLAN.

DATED THE ____ DAY OF _____ 2024

NAME: PAUL R. THOMSEN
ONTARIO LAND SURVEYOR
ZUREK, ENG, PATTEN & THOMSEN LTD.
COLLINGWOOD

OWNER'S CERTIFICATE:
AS OF THE DATE ON THIS PLAN THE UNDERSIGNED BEING THE REGISTERED OWNERS OF THE SUBJECT LANDS HEREBY AUTHORIZE _____ TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION AND TO MAKE APPLICATION TO THE GREY COUNTY PLANNING DEPARTMENT FOR APPROVAL THEREOF.

DATED THE ____ DAY OF _____ 2024

NAME: _____
I HAVE THE AUTHORITY TO SIGN THE CORPORATION

PLANNING ACT, SECTION 51(17)

(a) As shown on draft plan
(b) As shown on draft plan
(c) As shown on draft plan
(d) See schedule of land use
(e) As shown on draft plan
(f) (1) Not Proposed
(g) As shown on draft plan
(h) Piped municipal treated water
(i) Tecumseh Sand, Waterloo Sandy Loam and Bottom Land
(j) As provided on topographic survey by Tatham Engineering
(k) Municipal sanitary sewer
(l) As shown on draft plan

LEGEND

--- SUBJECT LANDS BOUNDARY
--- LOTS 1 TO 376 PLAN 16M-XX AND BLOCK 377 PLAN 16M-XX BOUNDARIES
--- PLAN OF SUBDIVISION BLOCKS 377, 378, 379 BOUNDARIES

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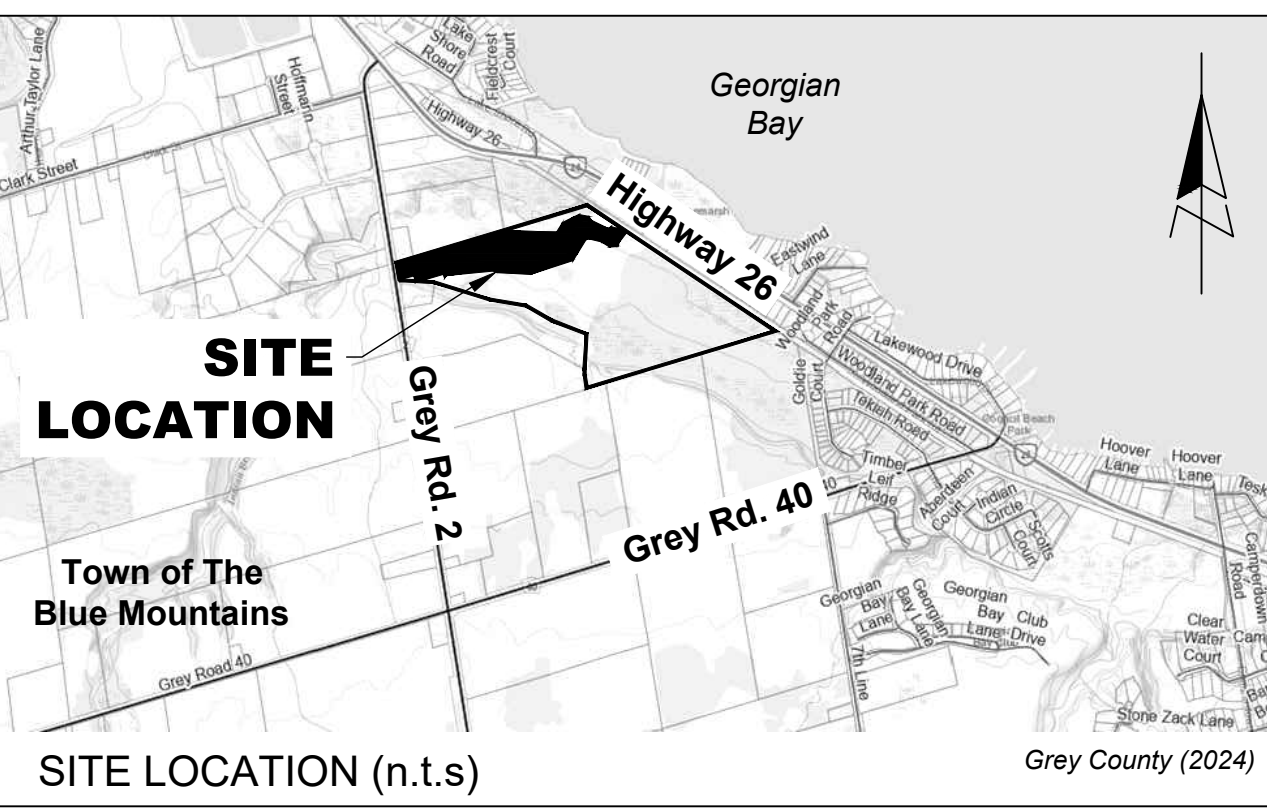
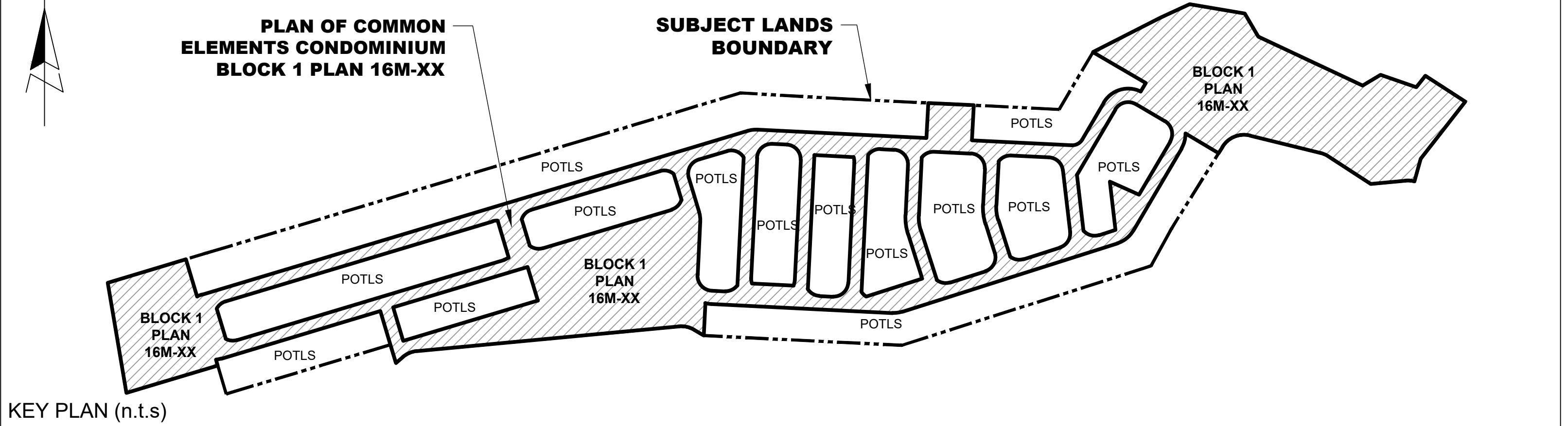
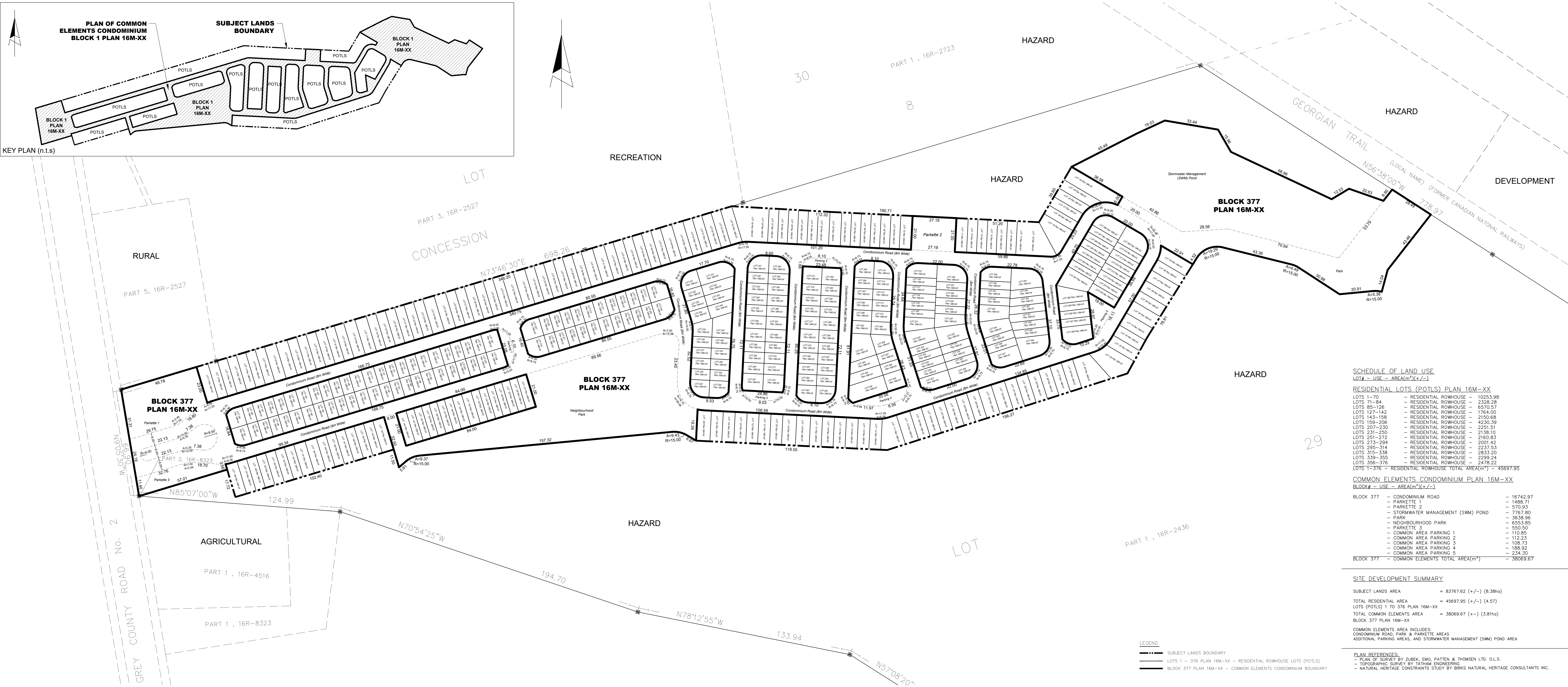
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Revision#	Date D/M/Y	Description - Notes
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File/CAD: T&A_HindsBrook-SubdivisionPlan.dwg
Date(d/m/y): 10/09/2024 Drafted by: D.C. Checked by: P.T./R.A./C.T.

Appendix 7

Common Elements Condominium Plan



DRAFT PLAN OF COMMON ELEMENTS CONDOMINIUM OF BLOCK 377 PLAN 16M-XX
 PART OF LOT 29
 CONCESSION 8
 (Formerly Township of Collingwood)
TOWN OF THE BLUE MOUNTAINS
 COUNTY OF GREY

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AND THEIR RELATION TO THE ADJACENT LANDS ARE ACCURATELY SHOWN ON THIS PLAN.
 DATED THE ____ DAY OF _____ 2024
 NAME: PAUL R. THOMSEN
 ONTARIO LAND SURVEYOR
 ZUBEK, EMO, PATTEN & THOMSEN LTD.
 COLLINGWOOD

OWNER'S CERTIFICATE:
 AS OF THE DATE ON THIS PLAN THE UNDERSIGNED BEING THE REGISTERED OWNERS OF THE SUBJECT LANDS HEREBY AUTHORIZE _____ TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION AND TO MAKE APPLICATION TO THE GREY COUNTY PLANNING DEPARTMENT FOR APPROVAL THEREOF.
 DATED THE ____ DAY OF _____ 2024
 NAME: _____
 I HAVE THE AUTHORITY TO BIND THE CORPORATION

PLANNING ACT, SECTION 51(17)

- As shown on draft plan
- As shown on draft plan
- As shown on draft plan
- See schedule of land use
- As shown on draft plan
 - Not Proposed
- As shown on draft plan
 - Piped municipal treated water
 - Tecumseh Sand, Waterloo Sandy Loam and Baitton Land
- As provided on topographic survey by Tatham Engineering
- Municipal sanitary sewer
- As shown on draft plan

SCHEDULE OF LAND USE
 LOT# - USE - AREA(m²)(+/-)

RESIDENTIAL LOTS (POTLS) PLAN 16M-XX	RESIDENTIAL ROWHOUSE	AREA(m ²)
LOTS 1-70	RESIDENTIAL ROWHOUSE	10253.98
LOTS 71-84	RESIDENTIAL ROWHOUSE	2328.28
LOTS 85-126	RESIDENTIAL ROWHOUSE	6570.57
LOTS 127-142	RESIDENTIAL ROWHOUSE	1764.00
LOTS 143-158	RESIDENTIAL ROWHOUSE	2150.68
LOTS 159-206	RESIDENTIAL ROWHOUSE	4230.39
LOTS 207-230	RESIDENTIAL ROWHOUSE	2251.51
LOTS 231-250	RESIDENTIAL ROWHOUSE	2138.10
LOTS 251-272	RESIDENTIAL ROWHOUSE	2160.83
LOTS 273-294	RESIDENTIAL ROWHOUSE	2001.42
LOTS 295-314	RESIDENTIAL ROWHOUSE	2231.53
LOTS 315-338	RESIDENTIAL ROWHOUSE	2833.20
LOTS 339-355	RESIDENTIAL ROWHOUSE	2293.24
LOTS 356-376	RESIDENTIAL ROWHOUSE	2478.22
LOTS 1-376	RESIDENTIAL ROWHOUSE TOTAL AREA(m ²)	45697.95

COMMON ELEMENTS CONDOMINIUM PLAN 16M-XX
 BLOCK# - USE - AREA(m²)(+/-)

BLOCK 377	CONDOMINIUM ROAD	16742.97
	PARKETTE 1	1488.71
	PARKETTE 2	570.93
	STORMWATER MANAGEMENT (SWM) POND	7767.80
	PARK	3638.96
	NEIGHBOURHOOD PARK	6553.85
	PARKETTE 3	550.50
	COMMON AREA PARKING 1	110.85
	COMMON AREA PARKING 2	112.23
	COMMON AREA PARKING 3	108.73
	COMMON AREA PARKING 4	188.92
	COMMON AREA PARKING 5	234.30
BLOCK 377	COMMON ELEMENTS TOTAL AREA(m ²)	38069.67

SITE DEVELOPMENT SUMMARY

SUBJECT LANDS AREA	= 83767.62 (+/-) (8.38ha)
TOTAL RESIDENTIAL AREA	= 45697.95 (+/-) (4.57)
LOTS (POTLS) 1 TO 376 PLAN 16M-XX	
TOTAL COMMON ELEMENTS AREA	= 38069.67 (+/-) (3.81ha)
BLOCK 377 PLAN 16M-XX	
COMMON ELEMENTS AREA INCLUDES:	
CONDOMINIUM ROAD, PARK & PARKETTE AREAS	
ADDITIONAL PARKING AREAS, AND STORMWATER MANAGEMENT (SWM) POND AREA	

LEGEND
 - - - - - SUBJECT LANDS BOUNDARY
 - - - - - PLAN OF SURVEY BY ZUBEK, EMO, PATTEN & THOMSEN LTD. O.L.S.
 - - - - - LOTS 1 - 376 PLAN 16M-XX - RESIDENTIAL ROWHOUSE LOTS (POTLS)
 - - - - - BLOCK 377 PLAN 16M-XX - COMMON ELEMENTS CONDOMINIUM BOUNDARY

PLAN REFERENCES:
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 - TOPOGRAPHIC SURVEY BY TATHAM ENGINEERING
 - NATURAL HERITAGE CONSTRAINTS STUDY BY BIRKS NATURAL HERITAGE CONSULTANTS INC.

ZUBEK, EMO, PATTEN & THOMSEN LTD.
 ONTARIO LAND SURVEYORS
 200 MOUNTAIN ROAD
 UNIT 4
 COLLINGWOOD, ONTARIO L9Y 4V5
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 planning consultants
 approval facilitators
 development managers
 PO Box 323
 Thornbury, ON
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 Date(d/m/y): 10/09/2024 Drafted by: D.C. Checked by: P.T./R.A./C.T. **CP-1**

Appendix 8

Aird and Berlis Development Memo

M E M O R A N D U M

TO: Homefield Communities Ltd.

FROM: Aird & Berlis LLP

DATE: September 4, 2024

RE: Proposed Legal Structure for Hinds Brook Land Lease Development – Town of Blue Mountain

- (1) It is proposed that the project be developed as a common elements condominium pursuant to Part X of the *Condominium Act* with Parcels of Tied Land (POTL's) created by registration of a Plan of Subdivision. The development is intended to function as a land lease community.
- (2) Using this legal structure, the property will be divided into approximately 376 POTL's (each being a serviced lot suitable for building a dwelling unit) and common elements (being the internal roads and open space areas). Unlike a standard condominium corporation, which has units and common elements, a common elements condominium under Part X has only common elements, the ownership and use of which are appurtenant to the POTL's. The POTL's are simply lots on the plan of subdivision.
- (3) It is intended that the developer will retain ownership of all of the POTL's and common elements and operate the property as a land lease community, leasing each POTL to an end user who will retain ownership of the home to be constructed on the lot. The leases will entitle end users to use of the common elements. From the end user's perspective, the experience will be no different than a typical land lease community except that the lease terms can be longer (see paragraph 5(a)). Their use of the common elements will be subject to the condominium rules, which will be no different than usual common area rules under a lease.
- (4) Note that condo fees are the responsibility of the owner of the POTL's (the developer), and not the end users. The end user will pay only the monthly rent, as in any land lease community, without any additional obligations arising from the condominium structure.
- (5) The POTL/common elements structure for this land lease community has benefits to both the end users and the developer:
 - (a) The lease term, which would otherwise be restricted to 49 years, will no longer be limited because each POTL is a whole lot on a plan of subdivision, giving end users greater security of tenure; and
 - (b) The developer will have greater flexibility without disrupting end users who continue to occupy their POTL's by way of land lease.
- (6) In the event of a sale of any of the POTL's, the condominium disclosure documentation and agreement of purchase and sale used by the developer will describe in detail the land lease community concept that will continue to apply for some of the POTL's, so that all

purchasers will be properly informed. The registered declaration, by-laws and rules (being the constating documents of the condominium corporation) will also embody these concepts so that all future owners will be properly informed.

- (7) All costs associated with owning, operating, maintaining, repairing and replacing the common elements will be common expenses of the condominium corporation that will be the responsibility of the owner of each POTL in accordance with their respective proportionate shares as set out in the declaration.
- (8) The condominium corporation will be managed by a professional property manager (the developer or a third-party) and governed by a board of directors comprised of three to five owners in accordance with the statutory framework prescribed by the *Condominium Act* and the declaration, by-laws, rules and regulations of the condominium corporation.
- (9) Pursuant to Part VI of the *Condominium Act*, each year, the property manager and the board of directors will prepare a budget for the anticipated operating costs and capital repair/replacement costs for the common elements.
- (10) If any owner (including the developer) fails to pay common expenses when due, then the condominium corporation can register (and ultimately enforce) a lien/first charge against the defaulting owner's POTL. As a result, the condominium corporation will always be properly funded to ensure that the common elements are operated, maintained and repaired in accordance with the original vision. It is also important to note that the *Condominium Act* requires the condominium corporation to establish and maintain a reserve fund that will be used to pay for the cost of future capital repairs and replacement of the common elements. In traditional land lease communities, reserve funds are not required to be maintained. The proposed structure will force the owner/developer to set these funds aside to ensure the upkeep and maintenance of the common elements for the long-term benefit of the residents.